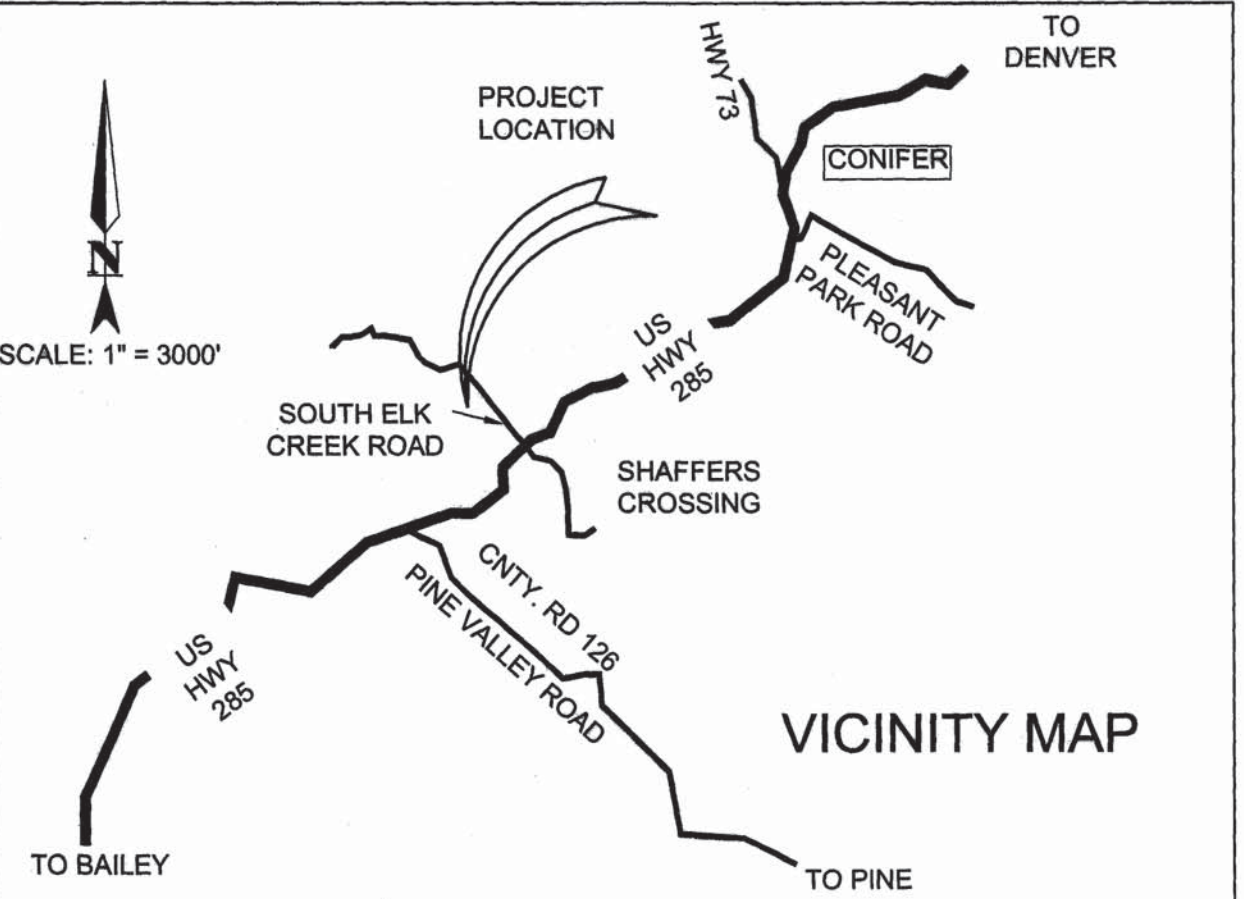
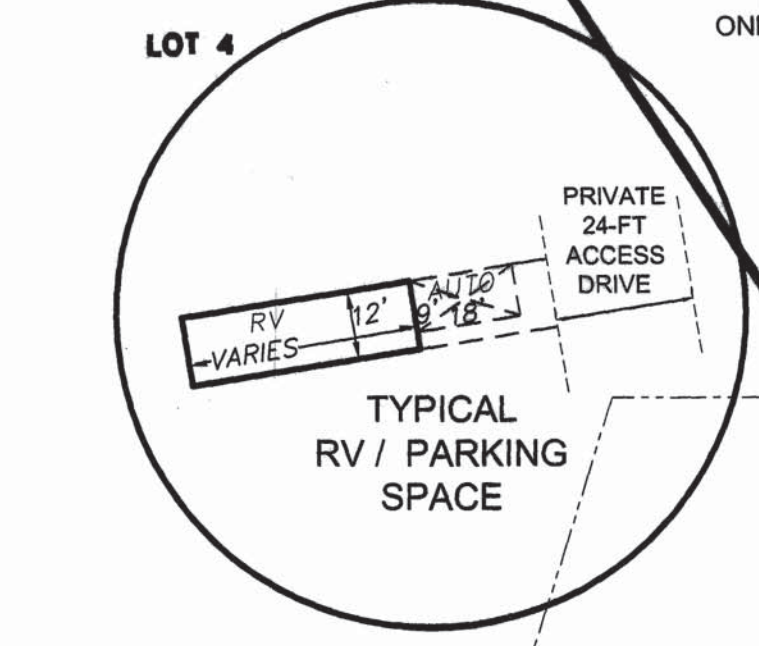
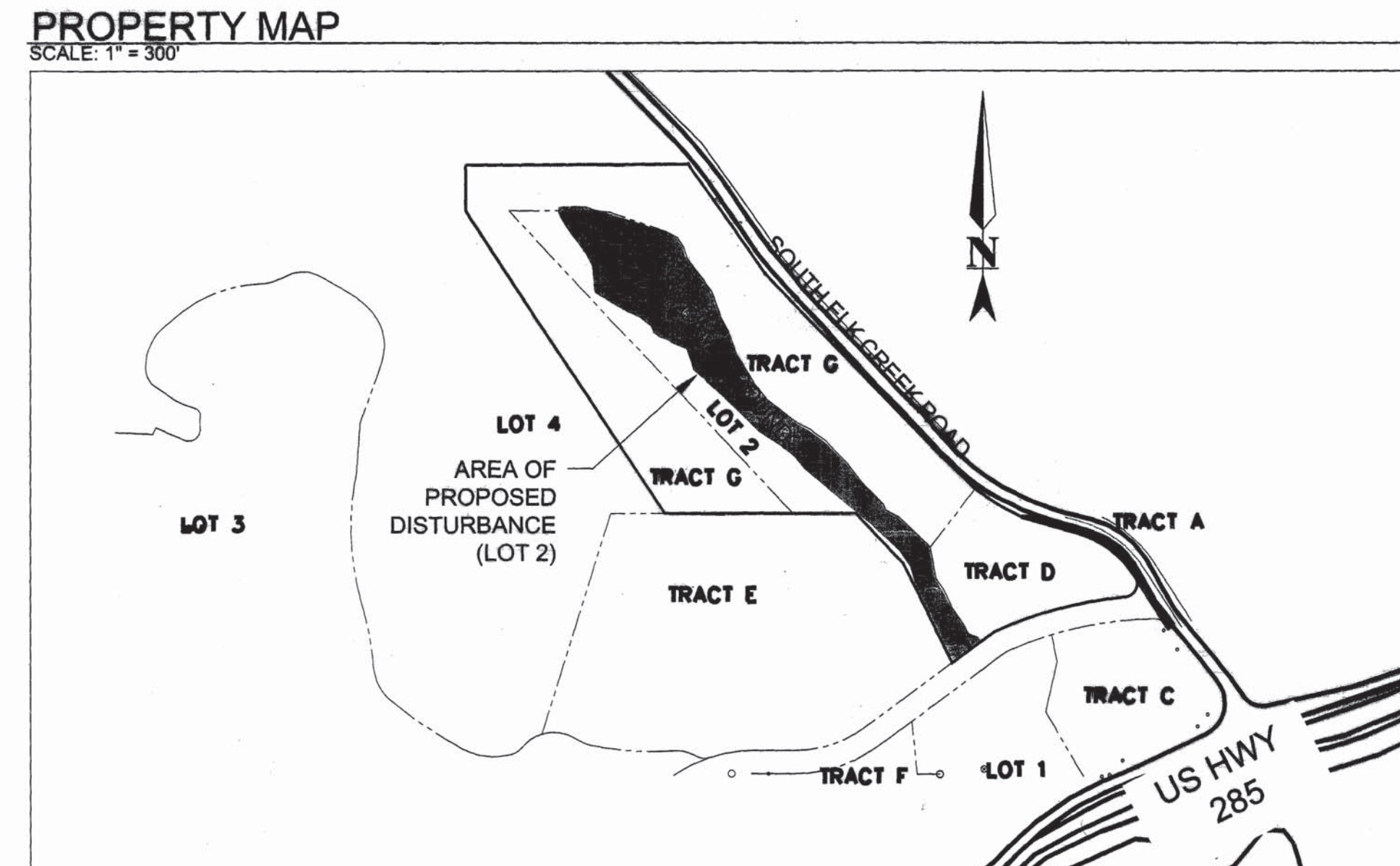
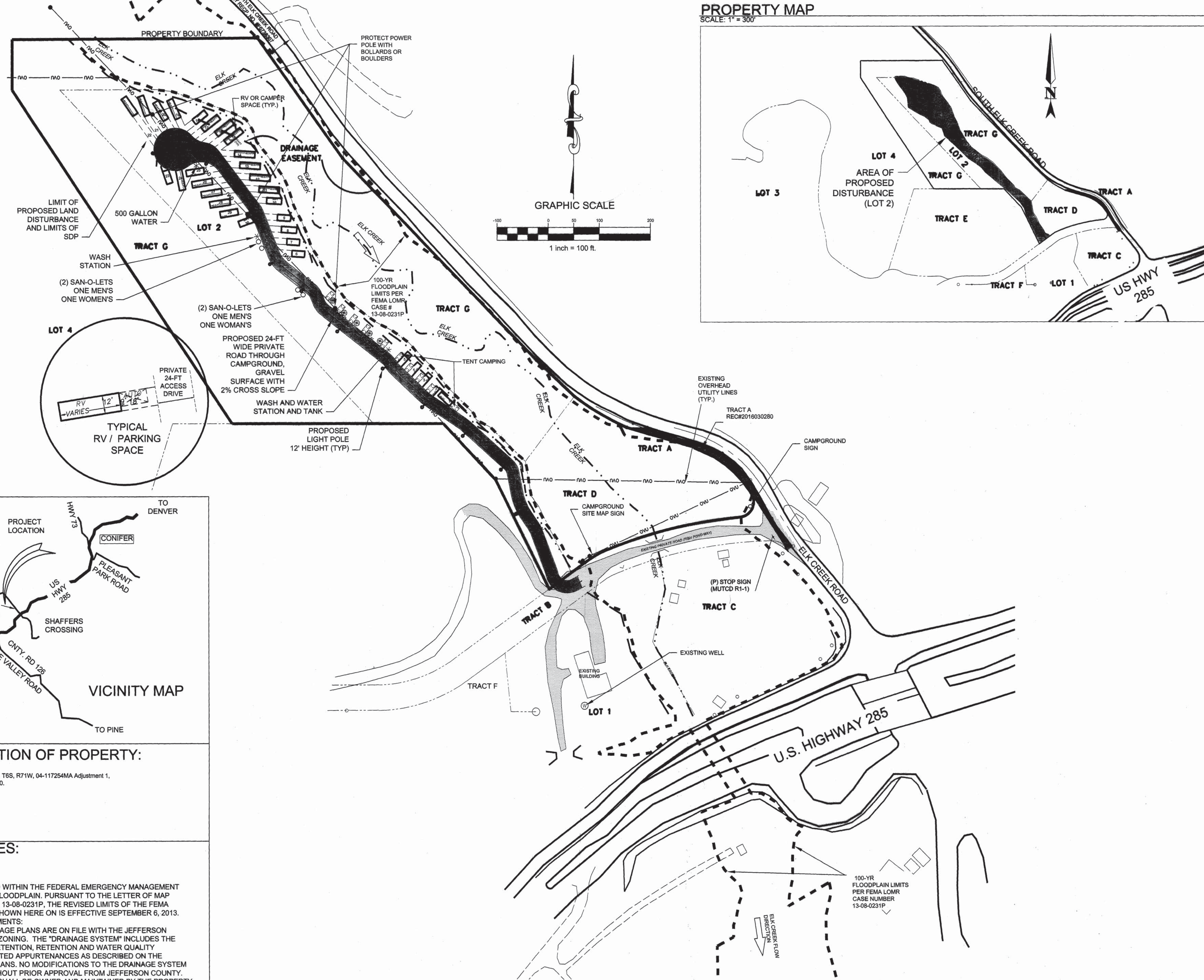


# SHAFFER'S CROSSING CAMPGROUND

## SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN SECTION 32, TOWNSHIP 6 SOUTH, RANGE 71 WEST OF THE 6TH P.M., JEFFERSON COUNTY, STATE OF COLORADO

Case Number 13-106374SD  
Map Number 255 & 266



**LEGAL DESCRIPTION OF PROPERTY:**  
 Lot 2, Tract D and Tract G, SEC 31 and 32, T6S, R71W, 04-117254MA Adjustment 1, Recorded at Reception Number 2016030280.

**STANDARD NOTES:**

- ZONING CASE: 10-117532RZ
- PLAT CASE: 04-117254MA
- THE PROPERTY IS LOCATED WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) 100-YEAR FLOODPLAIN. PURSUANT TO THE LETTER OF MAP REVISION (LOMR), CASE NO. 13-08-0231P, THE REVISED LIMITS OF THE FEMA 100-YEAR FLOODPLAIN AS SHOWN HERE ON IS EFFECTIVE SEPTEMBER 6, 2013.
- CONDITIONS AND REQUIREMENTS:
  - A. THE APPROVED DRAINAGE PLANS ARE ON FILE WITH THE JEFFERSON COUNTY PLANNING AND ZONING. THE "DRAINAGE SYSTEM" INCLUDES THE DRAINAGE FACILITIES, DETENTION, RETENTION AND WATER QUALITY FACILITIES AND ASSOCIATED APPURTENANCES AS DESCRIBED ON THE APPROVED DRAINAGE PLANS. NO MODIFICATIONS TO THE DRAINAGE SYSTEM SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM JEFFERSON COUNTY. THE DRAINAGE SYSTEM SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.

**SITE DATA:**

TOTAL AREA OF THE PROPERTY	12.9 ACRES
BUILDING COVERAGE	NO NEW BUILDINGS
PARKING LOT COVERAGE	N/A
LANDSCAPED AREA COVERAGE	N/A
NUMBER OF RV OR CAMPER SPACES PROVIDED	30
NUMBER OF TENT SITES	5
MINIMUM AREA PER CAMPSITE IS 900 SF, TOTAL AREA OF CAMPSITE PADS	31,500 SF
EXISTING AND PROPOSED GROSS FLOOR AREA OF ALL BUILDINGS AND STRUCTURES, SHOWN PER USE (E.G. RETAIL, OFFICE, ETC.)	NO NEW OR EXISTING BUILDINGS ARE WITHIN THIS SDP

**APPROVAL CERTIFICATION:**  
 This site plan has been reviewed and found to be complete, and in accordance with Jefferson County regulations and is hereby approved by the County and agreed to by the landowner.  
*John R. Wirth* 7/20/16  
 Jefferson County Director of Planning and Zoning Date

**OWNERSHIP CERTIFICATE:**  
 Elk Creek Properties, LLC, A Colorado Limited Liability Company, as owner(s) of the land affected by this Site Development Plan, accept and approve all conditions set forth herein.  
 By: *Norman S Lewis* 7/11/16 Date  
 AS **MANAGER**

COUNTY OF JEFFERSON )  
 STATE OF COLORADO )SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11 DAY OF July, 2016 BY *Norman S Lewis* OF ELK CREEK PROPERTIES, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL  
*Janis Schroeder* NOTARY SEAL  
 (NOTARY PUBLIC)  
 MY COMMISSION EXPIRES **Sept 21, 2016**

**CLERK AND RECORDER'S CERTIFICATE:**  
 Accepted for recording in the Office of the County Clerk and Recorder of Jefferson County at Golden, Colorado, this 20 day of July, 2016 at 12:01:42 o'clock p.m.  
*Faye Griffin*  
 Jefferson County Clerk and Recorder  
*Monique Jones*  
 Deputy Clerk

**SITE DEVELOPMENT PLAN**  
 PROPERTY ADDRESS: 32234 FISH POND WAY, PINE, CO 80470  
**SHAFFERS CROSSING CAMPGROUND**

APPLICANT: FINE LINE CONSULTING, INC.  
 584 SOUTH RACE STREET  
 DENVER, CO 80209  
 (303) 282-9622  
 PREPARED BY:

**RADIAN ENGINEERING, LLC**  
 CIVIL ENGINEERS  
 174 SLEEPY HOLLOW DR, BAILEY, CO 80421

OWNER: ELK CREEK PROPERTIES, LLC p: 720-224-1095  
 32234 FISH POND WAY PINE, CO 80470  
 DATE REVISED: 06/27/2016  
 DATE PREPARED: 11/07/2013  
 SHEET 1 OF 1





26624 N. Turkey Creek Rd., Evergreen, CO 80439

RONALD LEWIS  
President

Office 303.674.7777  
Fax 303.674.9052

www.mtnlandrealty.com

Cell 303.810.1071

JEFFERSON COUNTY  
CLERK & RECORDER'S OFFICE  
RECORDING DEPARTMENT  
(303) 271-8121

ISSUED TO: RONALD P LEWIS

RECEIPT # 61353  
DATE 07/20/2016 12:01:42 PM

DOCUMENT #	PGS	FEE
2016070566 FLOODSD	1	11.00

Total Amount Due 11.00

CHECK 3869 21.00

Total Amount Paid 21.00

Overage Amount: 10.00

UNLESS REQUESTED ALL AMOUNTS  
FOR OVERPAYMENTS IN THE AMOUNT  
OF \$10 OR MORE WILL BE ISSUED  
AT THE END OF THE MONTH

THANK YOU  
FAYE GRIFFIN  
CLERK & RECORDER  
Deputy: PHOUCHEN

Recorded Number



**Exhibit "A"**  
**PUBLIC IMPROVEMENT COSTS**

Shaffers Crossing Campground

Case No. \_13-106374 SD Early Grading

11/15/2013

IMPROVEMENTS LIST PRICING						
Work Category	Improvement Item	Unit	Plan Quantity	Unit Cost	Total Cost	
Construction	Vehicle Tracking Pad	EACH	1	\$ 800.00	\$ 800.00	
	Port-o-pottie	EACH	1	\$ 300.00	\$ 300.00	
	<b>Total</b>					<b>\$ 1,100.00</b>
Sediment Control						
	Sediment Control Logs	LIN FT	650	\$ 4.00	\$ 2,600.00	
<b>Total</b>					<b>\$ 2,600.00</b>	
Erosion Control						
	Hydroseed (quantified in "Final Stabilization")	SQ FT	0	\$ 0.18	\$ -	
<b>Total</b>					<b>\$ -</b>	
Grading	Grading (Cut)	CU YD	353	\$ 2.50	\$ 882.50	
	Grading (Import)	CU YD	0	\$ 12.00	\$ -	
	Compacting (Fill)	CU YD	353	\$ 1.50	\$ 529.50	
	<b>Total</b>					<b>\$ 1,412.00</b>
Final Stabilization	Permanent Seeding	ACRE	1.900	\$ 3,500.00	\$ 6,650.00	
	Topsoil (In excess of site availability)	CU YD	10	\$ 12.00	\$ 120.00	
	Flexterra FGM Hydroseed	SQ FT	12000	\$ 0.18	\$ 2,160.00	
	Mulch (included in the Hydroseed value)	SQ FT	0	\$ 0.18	\$ -	
	Rock Walls	SQ FT	2430	\$ 8.00	\$ 19,440.00	
	<b>Total</b>					<b>\$ 28,370.00</b>
<b>PRIVATE CIRCULATION ITEMS</b>						
Storm Drainage						
	MPLD	EACH	2	\$ 4,500.00	\$ 9,000.00	
					<b>\$ 9,000.00</b>	
<b>PRIVATE CIRCULATION ITEMS</b>						
Streets/Roads	Aggregate Base Course	CU YD	220	\$ 80.00	\$ 17,600.00	
	Signs (stop)	EACH	1	\$ 200.00	\$ 200.00	
					<b>\$ 17,800.00</b>	
<b>OTHER SITEWORK</b>						
Water and Sewer System	San-o-let	EACH	2	300.00	\$ 600.00	
	Water Tank (500 gallons)	EACH	3	500.00	\$ 1,500.00	
					<b>\$ 2,100.00</b>	
Subtotal					<b>\$ 62,382.00</b>	
10%					<b>\$ 6,238.20</b>	
<b>TOTAL</b>					<b>\$ 68,620.20</b>	

THIS QUANTITY ESTIMATE WAS PREPARED UNDER MY DIRECT SUPERVISION:

*[Signature]* 11-16-13  
John Tompkins, PE, CFM Date

*Ronald A. Lewis* 11/27/13  
Owner/Applicant (Print Name) Date

*Ross Klopf* 12-17-2013  
Approved- Jefferson County Date  
*Ross Klopf*



**APPROVED**  
By Heather Gutherless at 8:31 am, Jul 08, 2016

Ready for Mylar - hg

# SHAFFER'S CROSSING CAMPGROUND

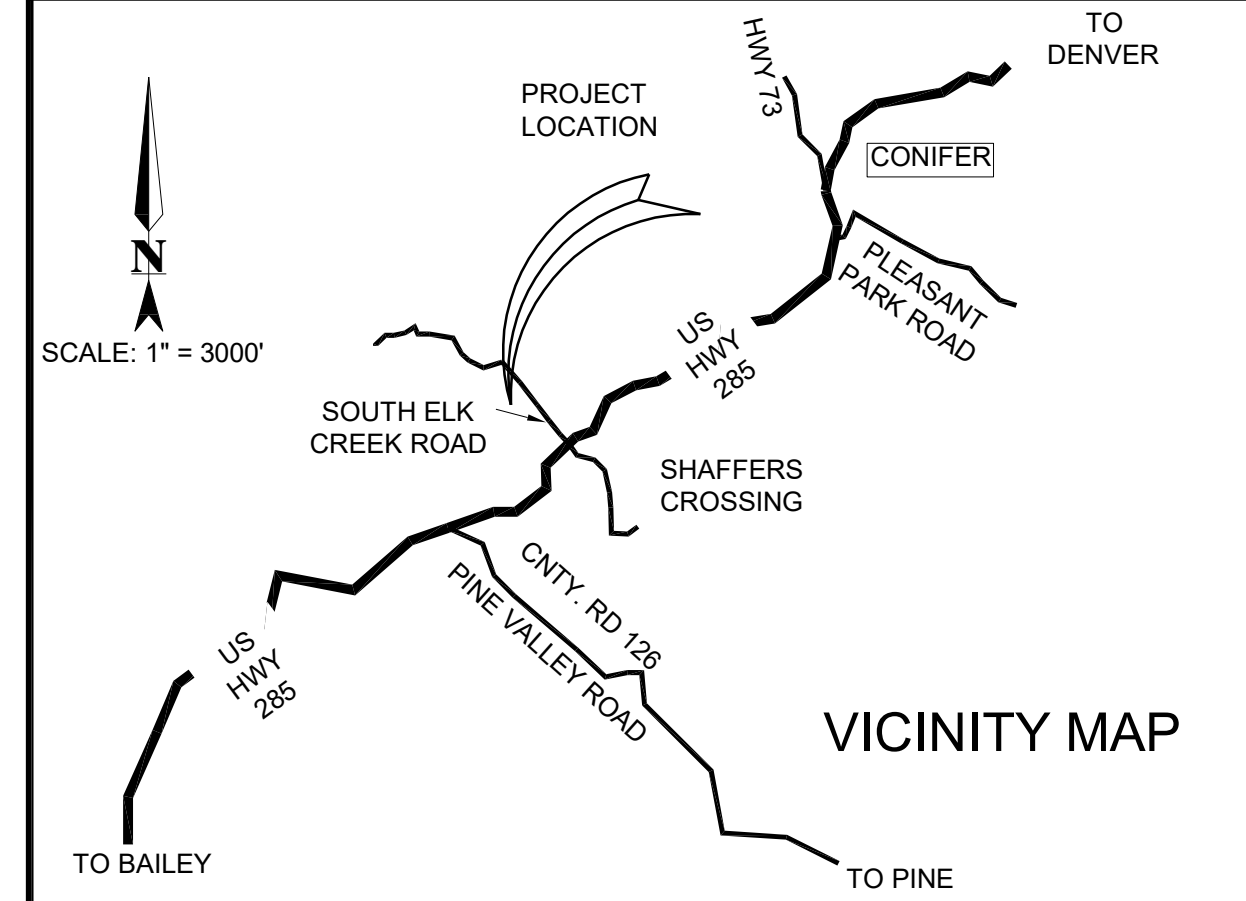
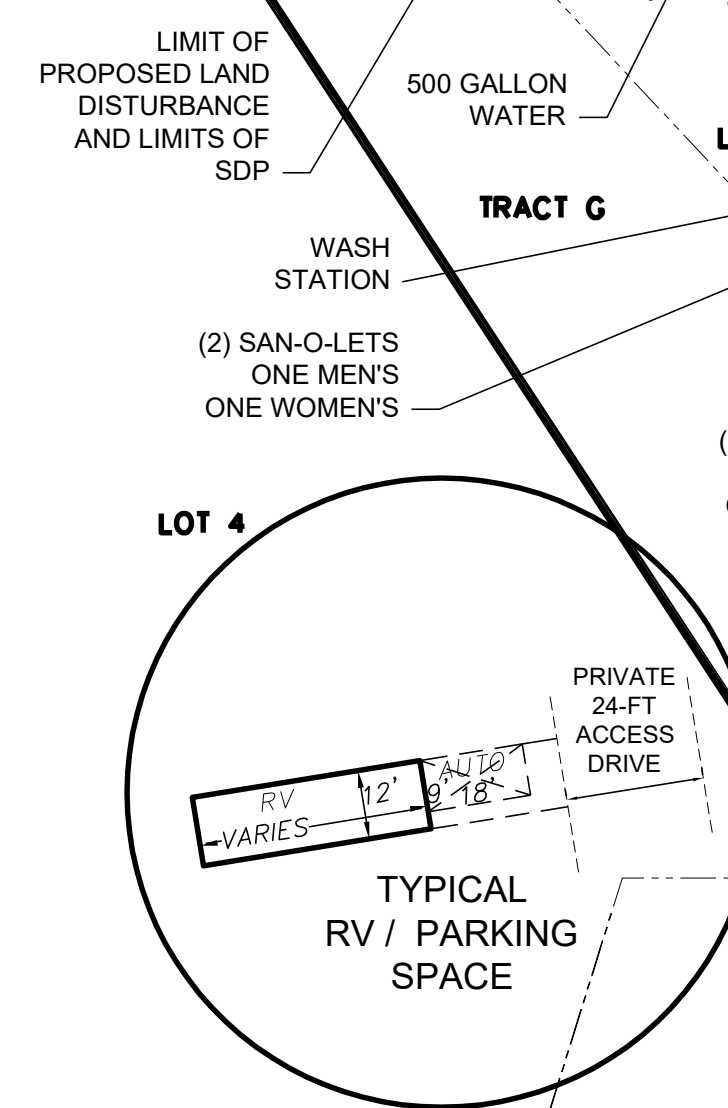
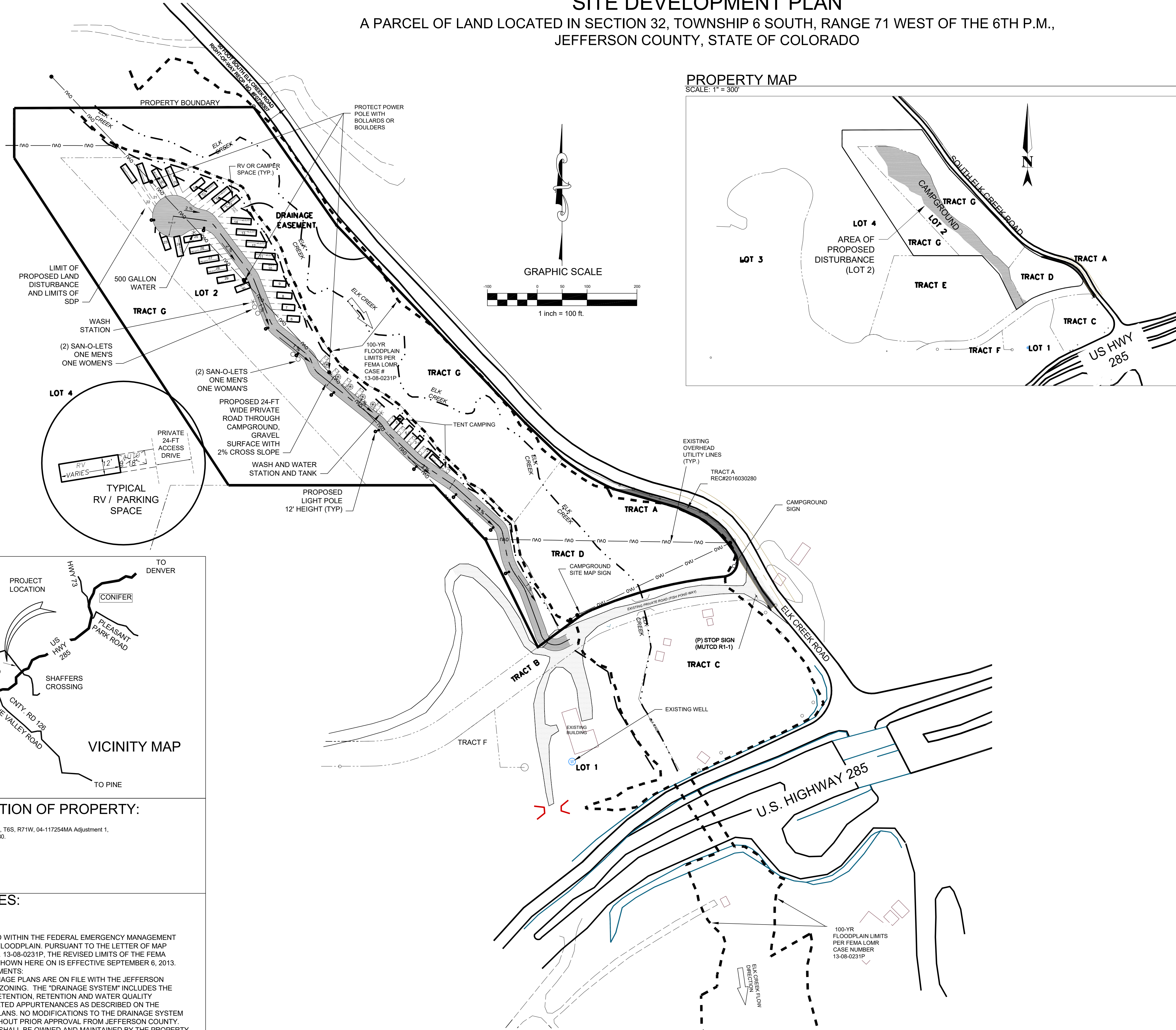
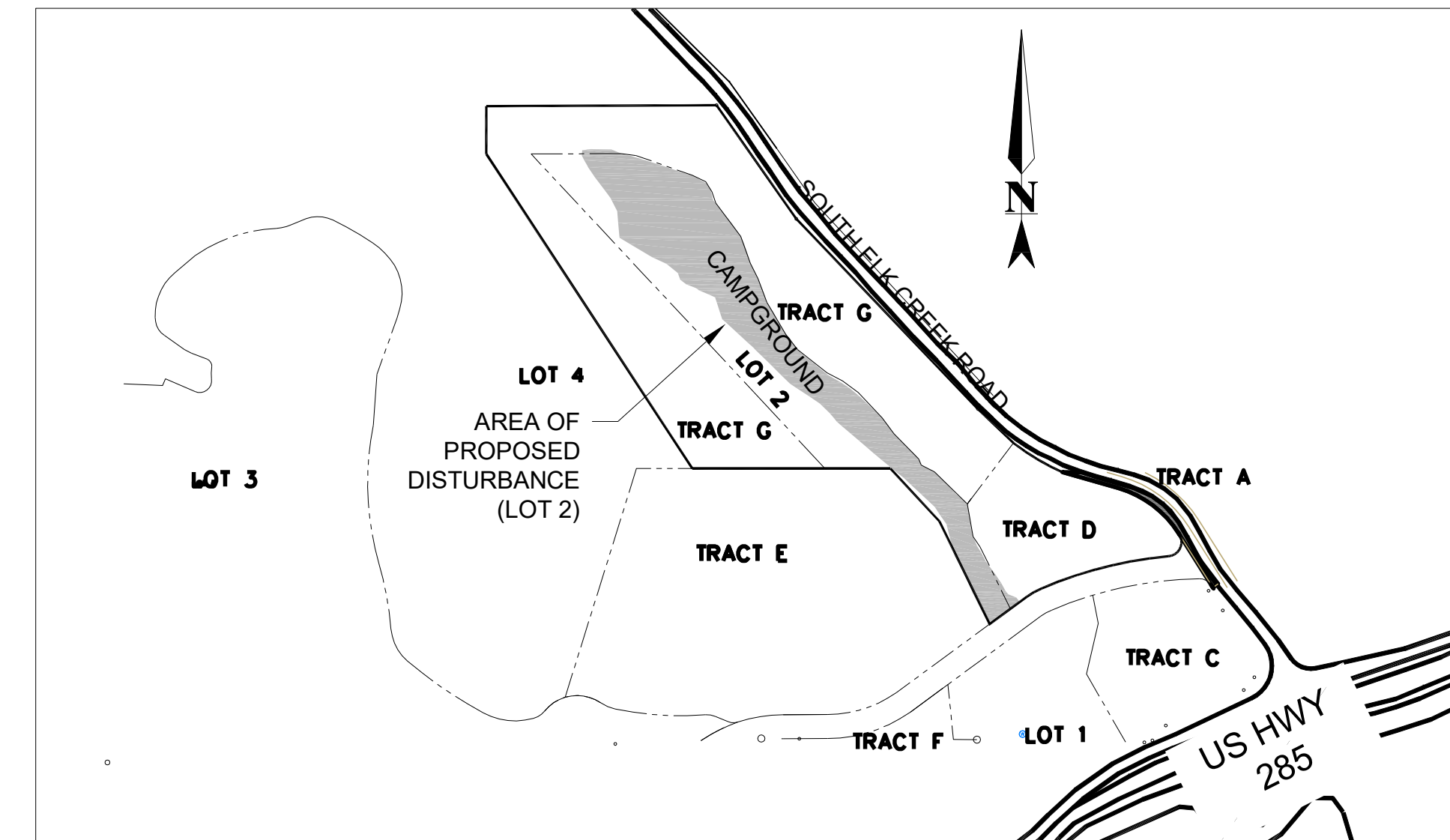
## SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN SECTION 32, TOWNSHIP 6 SOUTH, RANGE 71 WEST OF THE 6TH P.M.,  
JEFFERSON COUNTY, STATE OF COLORADO

Case Number 13-106374SD  
Map Number 255 & 266

### PROPERTY MAP

SCALE: 1" = 300'



**LEGAL DESCRIPTION OF PROPERTY:**  
Lot 2, Tract D and Tract G, SEC 31 and 32, T6S, R71W, 04-117254MA Adjustment 1,  
Recorded at Reception Number 2016030280.

**STANDARD NOTES:**

- ZONING CASE: 10-117532RZ
- PLAT CASE: 04-117254MA
- THE PROPERTY IS LOCATED WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) 100-YEAR FLOODPLAIN. PURSUANT TO THE LETTER OF MAP REVISION (LOMR), CASE NO. 13-08-0231P, THE REVISED LIMITS OF THE FEMA 100-YEAR FLOODPLAIN AS SHOWN HERE ON IS EFFECTIVE SEPTEMBER 6, 2013.
- CONDITIONS AND REQUIREMENTS:
  - THE APPROVED DRAINAGE PLANS ARE ON FILE WITH THE JEFFERSON COUNTY PLANNING AND ZONING. THE "DRAINAGE SYSTEM" INCLUDES THE DRAINAGE FACILITIES, DETENTION, RETENTION AND WATER QUALITY FACILITIES AND ASSOCIATED APPURTENANCES AS DESCRIBED ON THE APPROVED DRAINAGE PLANS. NO MODIFICATIONS TO THE DRAINAGE SYSTEM SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM JEFFERSON COUNTY. THE DRAINAGE SYSTEM SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.

**SITE DATA:**

TOTAL AREA OF THE PROPERTY	12.9 ACRES
BUILDING COVERAGE	NO NEW BUILDINGS
PARKING LOT COVERAGE	N/A
LANDSCAPED AREA COVERAGE	N/A
NUMBER OF RV OR CAMPER SPACES PROVIDED	30
NUMBER OF TENT SITES	5
MINIMUM AREA PER CAMPSITE IS 900 SF, TOTAL AREA OF CAMPSITE PADS	31,500 SF
EXISTING AND PROPOSED GROSS FLOOR AREA OF ALL BUILDINGS AND STRUCTURES, SHOWN PER USE (E.G. RETAIL, OFFICE, ETC.)	NO NEW OR EXISTING BUILDINGS ARE WITHIN THIS SDP

**APPROVAL CERTIFICATION:**  
This site plan has been reviewed and found to be complete, and in accordance with Jefferson County regulations and is hereby approved by the County and agreed to by the landowner.

Jefferson County Director of Planning and Zoning \_\_\_\_\_ Date \_\_\_\_\_

**OWNERSHIP CERTIFICATE:**  
Elk Creek Properties, LLC, A Colorado Limited Liability Company, as owner(s) of the land affected by this Site Development Plan, accept and approve all conditions set forth herein.

By: \_\_\_\_\_ Date \_\_\_\_\_  
AS \_\_\_\_\_

COUNTY OF JEFFERSON )  
STATE OF COLORADO )SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS  
DAY OF \_\_\_\_\_, 201\_\_\_\_,  
BY \_\_\_\_\_ AS \_\_\_\_\_ OF ELK CREEK PROPERTIES, LLC,  
A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

\_\_\_\_\_  
(NOTARY PUBLIC) NOTARY SEAL

MY COMMISSION EXPIRES \_\_\_\_\_

**CLERK AND RECORDER'S CERTIFICATE:**

Accepted for recording in the Office of the County Clerk and Recorder of Jefferson County at Golden, Colorado, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_ o'clock \_\_\_\_m.

Jefferson County Clerk and Recorder  
By: \_\_\_\_\_ Deputy Clerk

**SITE DEVELOPMENT PLAN**  
PROPERTY ADDRESS: 32234 FISH POND WAY, PINE, CO 80470

**SHAFFERS CROSSING CAMPGROUND**

APPLICANT: FINE LINE CONSULTING, INC. PREPARED BY:  
584 SOUTH RACE STREET  
DENVER, CO 80209  
(303) 282-9622

**RADIAN ENGINEERING, LLC**  
CIVIL ENGINEERS

174 SLEEPY HOLLOW DR, BAILEY, CO 80421 DATE REVISED:  
ELK CREEK PROPERTIES, LLC p: 720-224-1095 06/27/2016  
32234 FISH POND WAY  
PINE, CO 80470 DATE PREPARED:  
11/07/2013  
SHEET 1 OF 1



## COMPLIANCE SHEET

Engineer's Compliance:

THIS REPORT FOR THE DRAINAGE AND WATER QUALITY DESIGN AT 32234 FISH POND WAY WAS PREPARED UNDER THE DIRECT SUPERVISION OF THE ENGINEERS AT HIGH POINT ENGINEERING IN ACCORDANCE WITH THE PROVISIONS OF JEFFERSON COUNTY STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA AND WAS DESIGNED TO COMPLY WITH THE PROVISIONS THEREOF. I UNDERSTAND THAT JEFFERSON COUNTY DOES NOT AND WILL NOT ASSUME LIABILITY FOR DRAINAGE FACILITIES DESIGNED BY OTHERS.



---

John Victor Tompkins, PE, CFM  
Registered Professional Engineer  
State of Colorado No. 41797

Developer's Compliance:

RONALD AND/OR CAROL LEWIS HEREBY CERTIFY THAT THE DRAINAGE FACILITIES FOR 32234 FISH POND WAY WILL BE CONSTRUCTED ACCORDING TO THE DESIGN PRESENTED IN THIS REPORT. I UNDERSTAND THAT JEFFERSON COUNTY DOES NOT AND WILL NOT ASSUME LIABILITY FOR DRAINAGE FACILITIES DESIGNED OR REVIEWED BY MY ENGINEER. I ALSO UNDERSTAND THAT JEFFERSON COUNTY RELIES ON THE REPRESENTATIONS OF OTHERS TO ESTABLISH THAT DRAINAGE FACILITIES ARE DESIGNED AND BUILT IN COMPLIANCE WITH APPLICABLE GUIDELINES, STANDARDS, OR SPECIFICATIONS. REVIEW BY JEFFERSON COUNTY CAN THEREFORE IN NO WAY LIMIT OR DIMINISH ANY LIABILITY WHICH I OR ANY OTHER PARTY MAY HAVE WITH RESPECT TO THE DESIGN OF SUCH FACILITIES.

---

Ronald and/or Carol Lewis

8/6/14  
Date

NORMAN S LEWIS, MANAGER  
ELK CREEK PROPERTIES, LLC



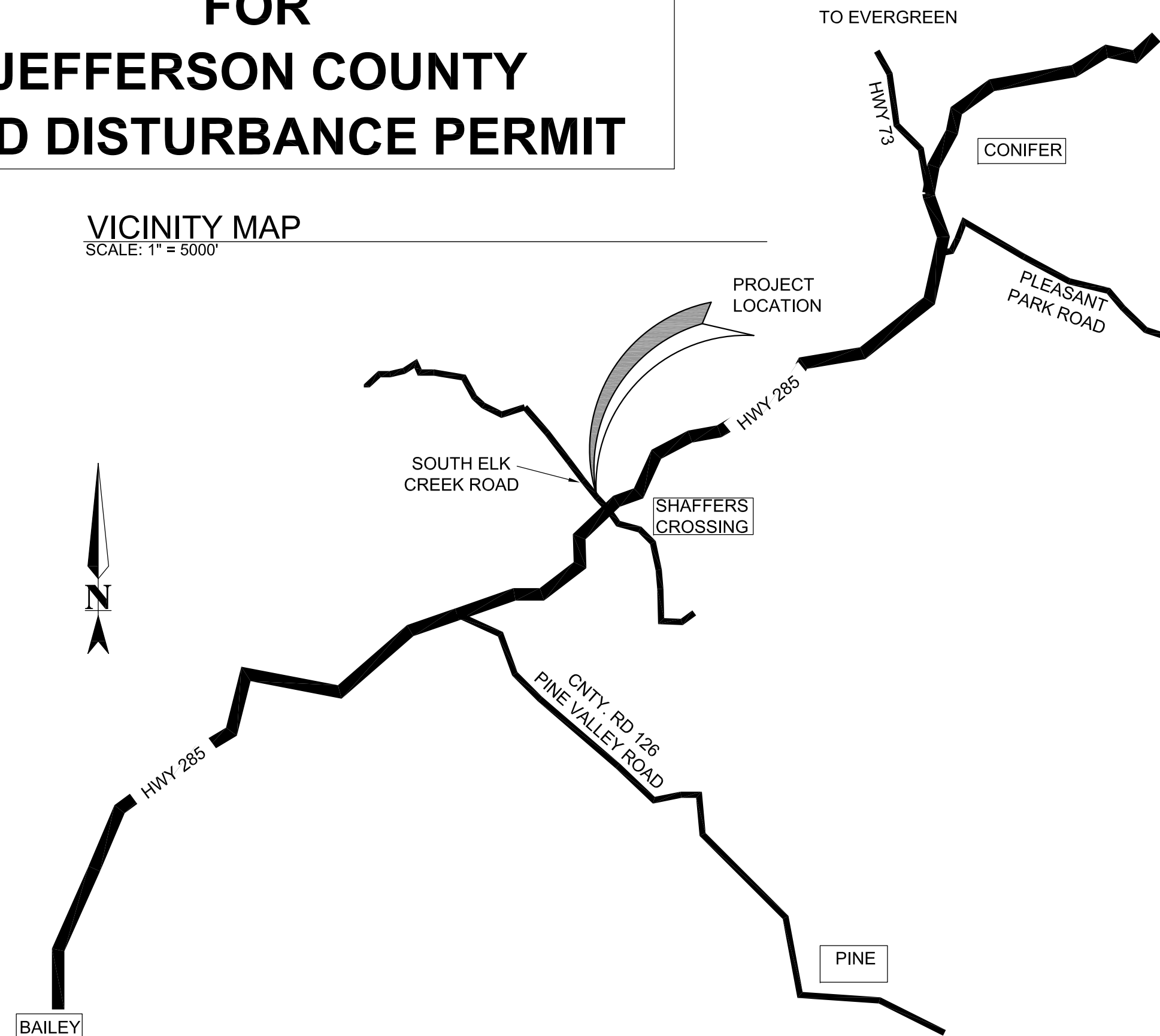
**GRADING AND SEDIMENT CONTROL NOTES**

1. THE CONTRACTOR MUST NOTIFY THE JEFFERSON COUNTY DEPARTMENT OF DEVELOPMENT AND TRANSPORTATION AT LEAST THREE DAYS PRIOR TO STARTING CONSTRUCTION.
2. ALL GRADING, EROSION, AND SEDIMENT CONTROL MUST CONFORM TO APPROVED PLANS. REVISIONS TO DISTURBANCE AREAS, SLOPES, AND/OR EROSION AND SEDIMENT CONTROL MEASURES ARE NOT PERMITTED WITHOUT PRIOR APPROVAL FROM THE JEFFERSON COUNTY PLANNING AND ZONING DIVISION.
3. THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, AT LEAST 10 DAYS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES FOR LAND DISTURBANCE AREAS OF ONE ACRE OR GREATER. THE PERMIT MUST BE KEPT CURRENT THROUGHOUT THE CONSTRUCTION DURATION. STATE STORMWATER PERMIT APPLICATIONS ARE AVAILABLE AT THIS ADDRESS: [HTTP://WWW.CDPHE.STATE.CO.US/WQ/PERMITSUNIT/WQCDPMT.HTML](http://www.cdphe.state.co.us/wq/permitsunit/wqcdpmt.html)
4. EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) MUST BE INSTALLED PRIOR TO GRADING ACTIVITIES, TO THE MAXIMUM EXTENT PRACTICABLE. TWO-PHASED (INITIAL & FINAL) EROSION CONTROL PLANS MUST BE SUBMITTED FOR SITES DISTURBING 2 ACRES OR MORE.
5. ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. FOR EXAMPLE, EROSION CONTROL BLANKETS, SEDIMENT CONTROL LOGS, OR SILT FENCES MAY REQUIRE PERIODIC REPLACEMENT. SEDIMENT TRAPS AND BASINS WILL REQUIRE PERIODIC SEDIMENT REMOVAL.
6. ALL TOPSOIL, WHERE PHYSICALLY PRACTICABLE, MUST BE SALVAGED AND NO TOPSOIL SHALL BE REMOVED FROM THE SITE EXCEPT AS SET FORTH IN THE APPROVED PLANS. TOPSOIL AND OVERBURDEN MUST BE SEGREGATED AND STOCKPILED SEPARATELY. TOPSOIL AND OVERBURDEN MUST BE REDISTRIBUTED WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR AREAS THAT MUST BE SEEDED AND PLANTED. RUNOFF FROM THE STOCKPILED AREA MUST BE CONTROLLED TO PREVENT EROSION AND SEDIMENTATION OF RECEIVING WATERS.
7. THE LANDOWNER AND/OR CONTRACTOR MUST IMMEDIATELY TAKE ALL NECESSARY STEPS TO CONTROL SEDIMENT DISCHARGE.
8. THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
9. THE LANDOWNER AND/OR CONTRACTOR MUST TAKE REASONABLE PRECAUTIONS TO ENSURE THAT VEHICLES DO NOT TRACK OR SPILL EARTH MATERIALS ON TO STREETS/ROADS AND MUST IMMEDIATELY REMOVE SUCH MATERIALS IF THIS OCCURS.
10. THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTROLLING "LITTER SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, AND SANITARY WASTE, AS APPLICABLE. IN ADDITION, SPILL PREVENTION AND CONTAINMENT BMPs FOR CONSTRUCTION MATERIALS, WASTE, AND FUEL MUST BE PROVIDED, AS APPLICABLE. LOCATIONS OF STOCKPILES, CONCRETE WASHOUT AREAS, AND TRASH RECEPTACLES MUST BE CLEARLY SHOWN ON THE PLANS. "LITTERING IS DEFINED AND ENFORCED BY CRS 18-4-511.
11. IF IT IS NECESSARY TO MOVE MATERIAL IN EXCESS OF 300 CUBIC YARDS AND/OR 10,000 SQUARE FEET OF LAND DISTURBANCE AREA TO OR FROM ANOTHER UNINCORPORATED JEFFERSON COUNTY SITE, A GRADING PERMIT OR NOTICE OF INTENT (NOI) IS NECESSARY FOR THE OFF-SITE PROPERTY. IF THE MATERIAL IS MOVED TO A PROPERTY LOCATED WITHIN ANOTHER JURISDICTION, EVIDENCE IS REQUIRED THAT THE LOCAL GOVERNMENT HAS APPROVED THE GRADING OPERATION.
12. THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS MUST BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT.
13. FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY, AS DEFINED BY THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, AT THE TIME OF GRADING. DURING GRADING, APPLYING A COMBINATION OF WATER, TACKIFIER AND SILT FENCE TO BREAK UP WIND SURFACE VELOCITIES MAY CONTROL DUST. IF WIND SPEEDS EXCEED THE ABILITY OF BMPs TO CONTROL FUGITIVE DUST, GRADING ACTIVITIES MUST CEASE.
14. ALL DISTURBED FILL SLOPES GREATER THAN OR EQUAL TO 30%, FLOWLINES OF SWALES, GUTTER DOWNSPOUTS, OR ADDITIONAL AREAS AT THE DISCRETION OF COUNTY STAFF, SHALL BE PROTECTED WITH AN EROSION BLANKET.
15. THE JEFFERSON COUNTY PLANNING AND ZONING DIVISION, OR ITS AUTHORIZED REPRESENTATIVE, MAY MODIFY THE EROSION AND SEDIMENT CONTROL PLAN AS FIELD CONDITIONS WARRANT.

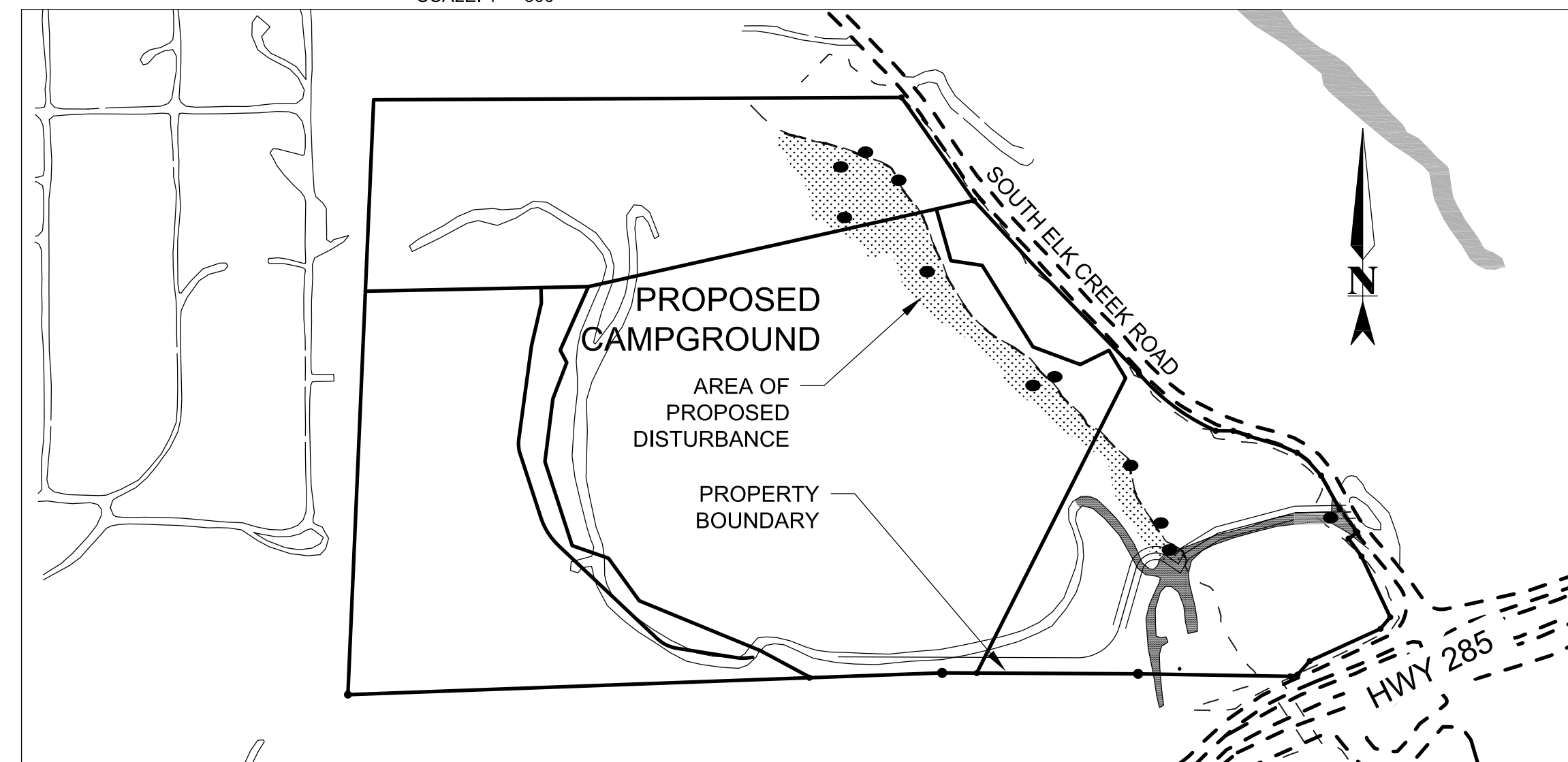
# 32234 FISH POND WAY PINE, CO 80470

## GESC PLAN FOR JEFFERSON COUNTY LAND DISTURBANCE PERMIT

VICINITY MAP  
SCALE: 1" = 5000'



PROPERTY MAP  
SCALE: 1" = 300'



**ESTIMATED EARTHWORK QUANTITIES**

CUT:	353-CY (+)
FILL:	353-CY (-)
BALANCE:	0-CY

EXPANSION/CONTRACTION FACTOR = 1.0

TOTAL DISTURBED AREA = 113,256-SF OR 2.600 ACRES +/-

IMPERVIOUS AREA WITHIN LAND DISTURBANCE (ROOF/CONC./ASPHALT/GRAVEL DRIVE) = 34,020-SF OR 0.781 ACRES +/-

**GENERAL NOTES**

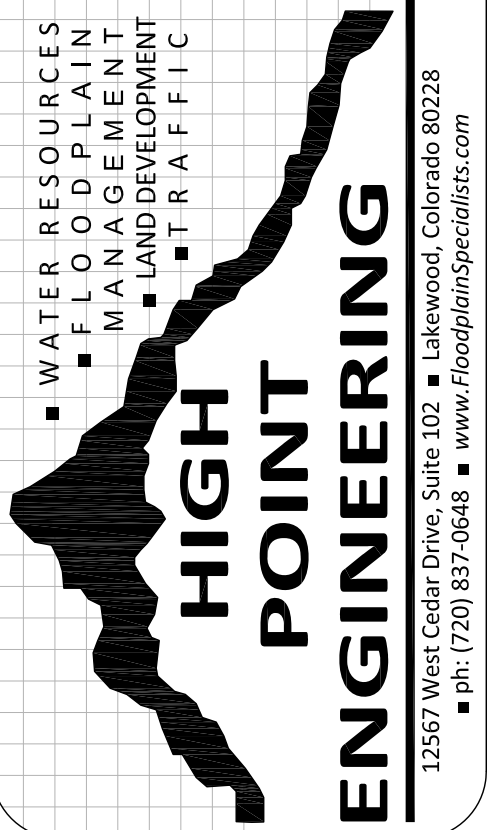
1. THIS PLAN IS NOT A SURVEY OF ANY KIND; IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES. NOT ALL EXISTING IMPROVEMENTS ARE SHOWN. THIS PLAN DOES NOT CONSTITUTE A TITLE SEARCH BY HIGH POINT ENGINEERING, WHO HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS RECORDED/UNRECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
2. NO GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THE SITE.
3. FILL PLACEMENT SHOULD BE PERFORMED UNDER THE OBSERVATION AND TESTING OF A GEOTECHNICAL ENGINEERING FIRM. BENEATH ALL FILL SLOPES, ORGANIC TOPSOIL AND VEGETATION SHOULD BE REMOVED PRIOR TO PLACEMENT OF FILL MATERIAL. FILL MATERIAL SHOULD BE KEPT AND BENCHED WHEN PLACED ON NATURAL SLOPES STEEPER THAN 4:1.
4. ALL WALLS SHOULD NOT EXCEED 36" IN HEIGHT UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL GRADE SMOOTH, UNIFORM SLOPES AND CROSS SLOPES IN ALL AREAS.
6. IT IS INTENDED THAT NO WORK BE PERFORMED OUTSIDE OF THE LIMITS OF CONSTRUCTION.
7. ANY LANDSCAPE CHANGES TO THE SITE GRADING MUST MEET THE DRAINAGE REQUIREMENTS OF THIS PLAN.
8. VERTICAL DATUM: THE VERTICAL DATUM IS NOT BASED OFF OF A PUBLISHED BENCHMARK, IT IS AN ASSUMED VERTICAL DATUM.
9. CONTACT ENGINEER OF RECORD FOR ALL PLAN QUESTIONS, INTERPRETATIONS, AND CONFLICTS.
10. OWNER MUST ACQUIRE EASEMENTS AND PERMITS FOR ALL OFFSITE WORK.
11. ANY UNAUTHORIZED ALTERATION TO THE RECORD DRAWINGS VOID THESE DRAWINGS IN WHOLE.
12. VARIOUS NOTES AND DETAILS HAVE BEEN PROVIDED BY JEFFERSON COUNTY AND ARE REQUIRED FOR APPROVAL. SEE ZONING RESOLUTIONS FOR ADDITIONAL CONSTRUCTION REQUIREMENT.
13. THERE IS 1 FLOODPLAIN BOUNDARY ON THE SITE.
14. THERE ARE 0 EXISTING DRAINAGE FACILITIES ON THIS SITE.
15. THERE ARE 0 HAZARD AREAS ON THIS SITE.
16. THERE ARE 0 MAJOR ROCK OUTCROPPINGS ON THIS SITE; HOWEVER, LARGE BOULDERS, SHALLOW BEDROCK, AND MINOR ROCK OUTCROPPINGS ARE TO BE EXPECTED DURING EXCAVATION.
17. **PLANS NOT APPROVED BY JEFFERSON COUNTY ARE NOT VALID FOR CONSTRUCTION.**

**LIST OF ABBREVIATIONS, ACRONYMS, DEFINITIONS:**

A	=AREA
BFE	=BASE FLOOD ELEVATION (100-YR)
BMP(S)	=BEST MANAGEMENT PRACTICE(S)
BOW	=BOTTOM OF WALL
CD	=ROCK CHECK DAM
CDOT	=COLORADO DEPARTMENT OF TRANSPORTATION
CEM	=CORRECTIVE EFFECTIVE MODEL
CF	=CUBIC FEET
CFS	=CUBIC FEET PER SECOND
CL	=CENTERLINE
CMP	=CORRUGATED METAL PIPE
CONT	=CONTINUATION
CWA	=CONCRETE WASHOUT AREA
CY	=CUBIC YARDS
DEM	=DUPLICATE EFFECTIVE MODEL
EB	=EROSION BLANKET
ECM	=EXISTING CONDITIONS MODEL
EL	=ELEVATION
EX	=EXISTING
FEMA	=FEDERAL EMERGENCY MANAGEMENT AGENCY
FES	=FLARED END SECTION
FF(E)	=FINISH FLOOR (ELEVATION)
FIRM	=FLOOD INSURANCE RATE MAP
FIS	=FLOOD INSURANCE STUDY
FL	=FLOWLINE
FT	=FEET
GB	=GRADE BRAKE
GESC	=GRADING, EROSION & SEDIMENT CONTROL
GF	=GARAGE FLOOR
G.R.	=GEOTECH./SOILS REPORT
HP	=HIGH POINT
HT	=HEIGHT
IN	=INCHES
INV	=INVERT
LF	=LINEAR FEET
LP	=LOW POINT
MAX	=MAXIMUM
MH	=MANHOLE
MIN	=MINIMUM
MPLD	=MOUNTAIN POROUS LANDSCAPE DESIGN (POND)
NE	=NORTHEAST
NTS	=NOT TO SCALE
NW	=NORTHWEST
OP	=OUTLET PROTECTION
PC	=POINT OF CURVATURE
PRC	=POINT OF REVERSE CURVATURE
PT	=POINT OF TANGENCY
PVC	=POLYVINYL CHLORIDE PIPE
R	=RADIUS
ROW	=RIGHT-OF-WAY (R.O.W.)
RR	=RIPRAP RUNDOWN
SAN	=SANITARY
SCL	=SEDIMENT CONTROL LOG
SE	=SOUTHEAST
SF	=SQUARE FEET
SNS	=SANITARY SEWER
STS	=STORM SEWER
STA	=STATION
SW	=SOUTHWEST
TBC	=TOP, BACK OF CURB
TOC	=TOP OF CONCRETE
T.O.P.	=TOP OF PIPE
TOW	=TOP OF WALL
TYP	=TYPICAL
USGS	=UNITED STATES GEOLOGICAL SURVEY
VTC	=VEHICLE TRACKING CONTROL
WL	=WATERLINE
WO	=WALK-OUT
WSEL	=WATER SURFACE ELEVATION

**PROJECTED SCHEDULE OF OPERATIONS**

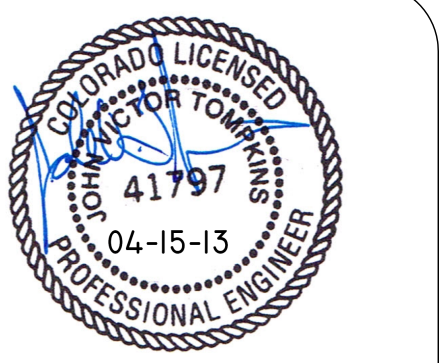
WEEK START	WEEK STOP	DESCRIPTION
1	1	BEGIN ROUGH GRADING. INSTALL VEHICLE TRACKING CONTROL PAD AND SEDIMENT CONTROL LOGS AS NEEDED ALONG THE LIMITS OF CONSTRUCTION.
2	6	CONTINUE GRADING. INSTALL SEDIMENT CONTROL LOGS WHERE NEEDED ALONG ROUGH GRADED SLOPES, GRADE SWALES, AND LANDSCAPE WALL PADS. INSTALL ROCK CHECK DAMS.
4	6	PERFORM MAINTENANCE ON EROSION AND SEDIMENT CONTROL MATERIAL. HYDRO-MULCH AREAS THAT WILL NO LONGER BE DISTURBED.
6	8	FINALIZE GRADING. RESEED/MULCH/HYDRO-MULCH WHERE NECESSARY. COMPLETE EROSION AND SEDIMENT CONTROL BMP CLEAN-UP.



THIS DRAWING IS CONSIDERED A PROPRIETARY PRODUCT OF HIGH POINT ENGINEERING. IT IS NOT TO BE USED OR REPRODUCED IN ANY MANNER UNLESS AUTHORIZED IN WRITING BY HIGH POINT ENGINEERING.

REVISION DATE	SHEET	DESCRIPTION
04-15-13	GESC-1	COVER AND NOTES SHEET
04-15-13	GESC-2	GRADING PLAN (CONT.) AND ACCESS DRIVE PROFILE
04-15-13	GESC-3	EROSION & SEDIMENT CONTROL PLAN
04-15-13	GESC-4	ROADWAY AND CONSTRUCTION DETAILS
07-28-12	GESC-5	JEFFERSON COUNTY G.E.S.C STANDARD DETAILS SHEETS 1-9
		-2,9

**GRADING, EROSION & SEDIMENT CONTROL (GESC) PLAN**  
FOR  
SHAFFERS CROSSING CAMPGROUND  
32234 FISH POND WAY  
PINE, CO 80470  
JEFFERSON COUNTY



SCALE:	PRJ. NO.
AS SHOWN	11-0335

DRAWING STATUS:  
LAND DISTURBANCE PERMIT

SHEET: **GESC**

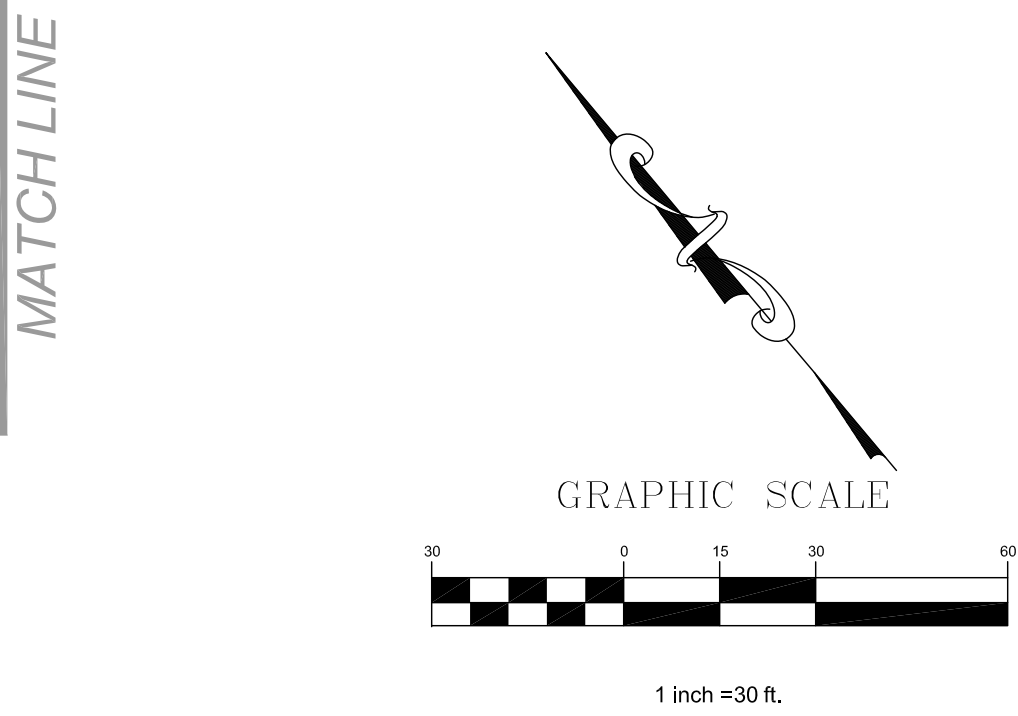
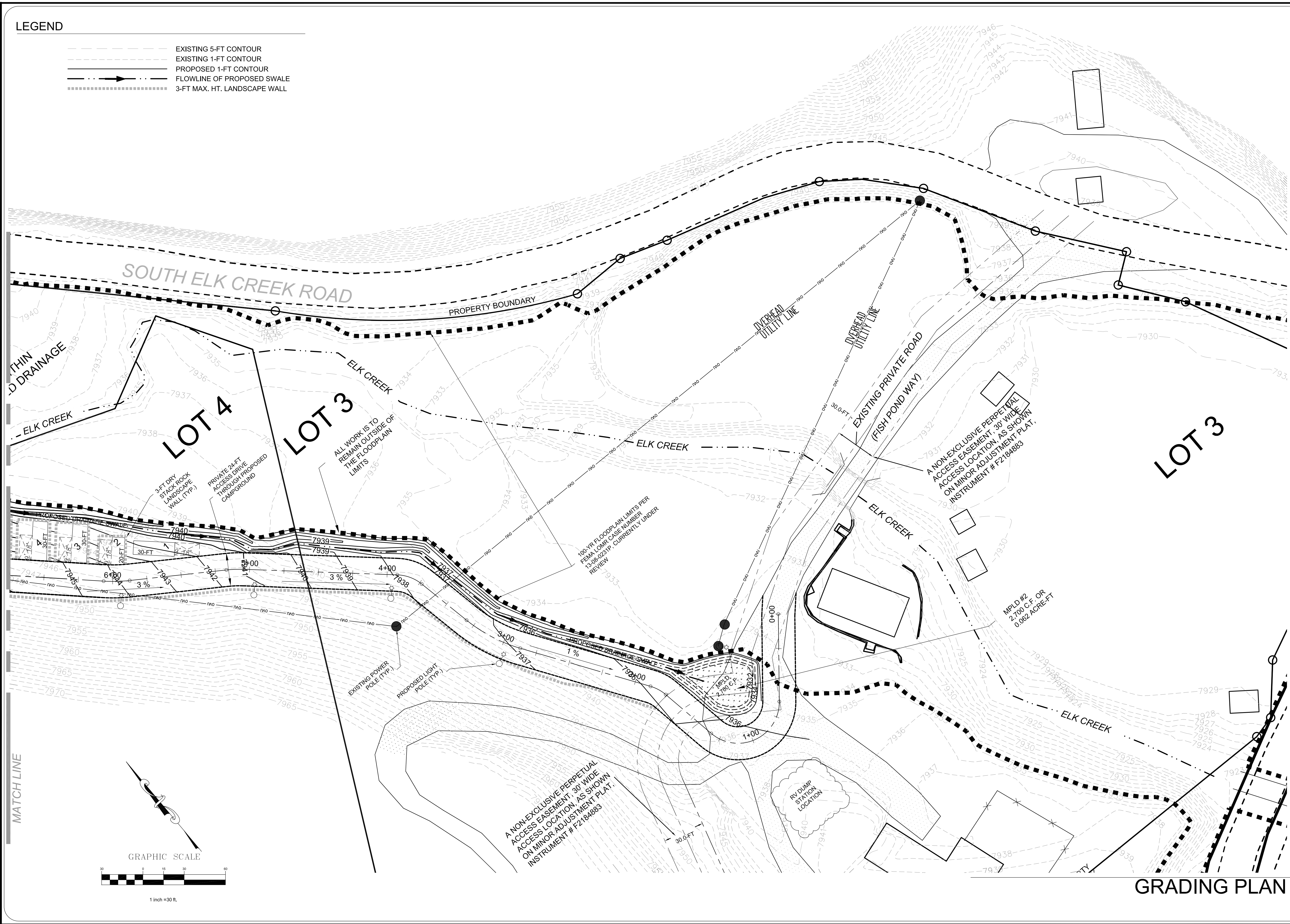
**1.1**

**COVER AND NOTES SHEET**



**LEGEND**

- EXISTING 5-FT CONTOUR
- - - EXISTING 1-FT CONTOUR
- PROPOSED 1-FT CONTOUR
- FLOWLINE OF PROPOSED SWALE
- 3-FT MAX. HT. LANDSCAPE WALL



WATER RESOURCES  
FLOODPLAIN  
MANAGEMENT  
LAND DEVELOPMENT  
TRAFFIC

**HIGH POINT ENGINEERING**

12567 West Cedar Drive, Suite 102 • Lakewood, Colorado 80228  
• ph: (720) 857-0616 • www.floodplainengineers.com

THIS DRAWING IS CONSIDERED A PROPRIETARY PRODUCT OF HIGH POINT ENGINEERING. IT IS NOT TO BE USED OR REPRODUCED IN ANY MANNER UNLESS AUTHORIZED IN WRITING BY HIGH POINT ENGINEERING.

REVISION DATE	SHEET	DESCRIPTION
04-15-13	GESC-1.1	COVER AND NOTES SHEET
04-15-13	GESC-1.2	GRADING PLAN (CONT.) AND ACCESS DRIVE PROFILE
04-15-13	GESC-1.3	EROSION & SEDIMENT CONTROL PLAN
04-15-13	GESC-1.4	ROADWAY AND CONSTRUCTION DETAILS
07-28-12	GESC-2.1	JEFFERSON COUNTY G.E.S.C STANDARD DETAILS SHEETS 1-9

**GRADING, EROSION & SEDIMENT CONTROL (GESC) PLAN**

FOR  
SHAFFERS CROSSING CAMPGROUND  
32234 FISH POND WAY  
PINE, CO 80470  
JEFFERSON COUNTY

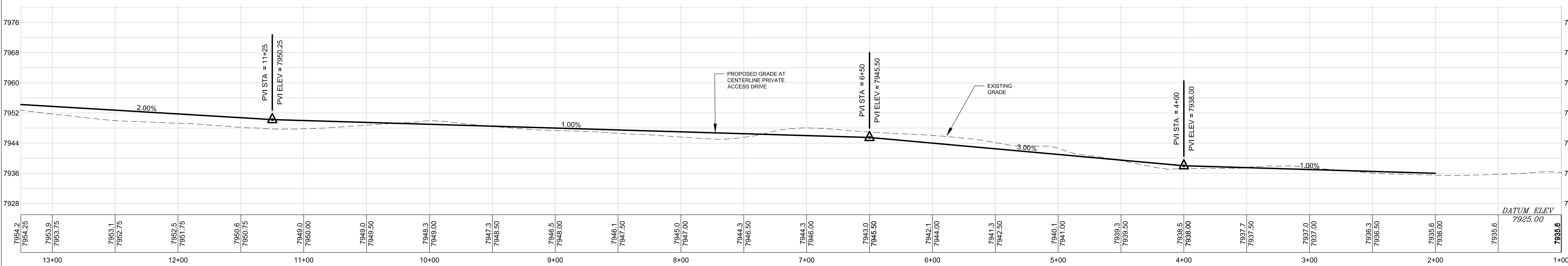
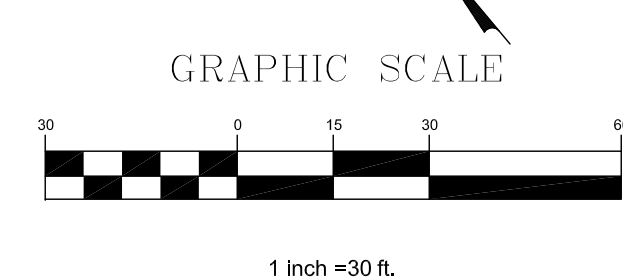
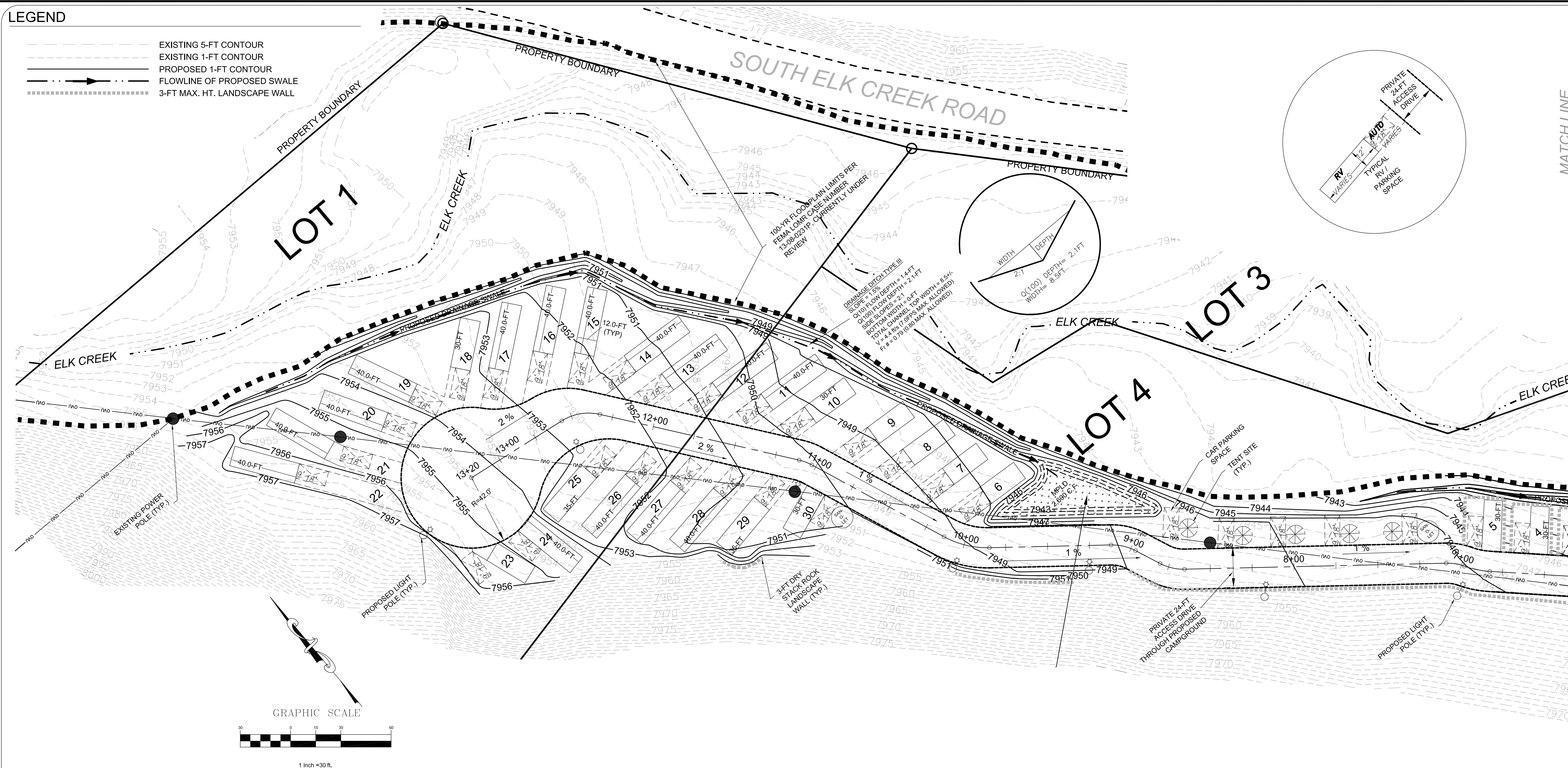


SCALE: AS SHOWN	PROJ. NO. 11-0335
DRAWING STATUS: LAND DISTURBANCE PERMIT	
SHEET: <b>1.2</b>	



**LEGEND**

- - - - - EXISTING 5-FT CONTOUR
- - - - - EXISTING 1-FT CONTOUR
- - - - - PROPOSED 1-FT CONTOUR
- - - - - FLOWLINE OF PROPOSED SWALE
- - - - - 3-FT MAX. HT. LANDSCAPE WALL



**PRIVATE ACCESS DRIVE PROFILE**  
SCALE: 1" = 40' (HORZ.)

**GRADING PLAN (CONT.) AND ACCESS DRIVE PROFILE**

**HIGH POINT ENGINEERING**  
 WATER RESOURCES  
 FLOODPLAIN  
 MANAGEMENT  
 LAND DEVELOPMENT  
 TRAFFIC

12567 West Cedar Drive, Suite 102 • Lakewood, Colorado 80228  
 • ph: (720) 857-0616 • www.highpointeng.com

THIS DRAWING IS CONSIDERED A PROPRIETARY PRODUCT OF HIGH POINT ENGINEERING. IT IS NOT TO BE USED OR REPRODUCED IN ANY MANNER UNLESS AUTHORIZED IN WRITING BY HIGH POINT ENGINEERING.

REVISION DATE	SHEET	DESCRIPTION
04-15-13	GESC-1.1	COVER AND NOTES SHEET
04-15-13	GESC-1.3	GRADING PLAN (CONT.) AND ACCESS DRIVE PROFILE
04-15-13	GESC-1.4	EROSION & SEDIMENT CONTROL PLAN
04-15-13	GESC-1.5	ROADWAY AND CONSTRUCTION DETAILS
07-25-12	GESC-2.1	JEFFERSON COUNTY G.E.S.C STANDARD DETAILS SHEETS 1-9

**GRADING, EROSION & SEDIMENT CONTROL (GESC) PLAN**  
 FOR  
**SHAFFERS CROSSING CAMPGROUND**  
 32234 FISH POND WAY  
 PINE, CO 80470  
 JEFFERSON COUNTY



SCALE: AS SHOWN	PROJ. NO. 11-0335
DRAWING STATUS: LAND DISTURBANCE PERMIT	SHEET: <b>GESC 1.3</b>



**BMP LEGEND**

NO.	NO.	BMP LEGEND
1	2	SR SURFACE ROUGHENING
2	2	ECB EROSION CONTROL BLANKET
3	2	TSD TEMPORARY SLOPE DRAIN
4	3	OP OUTLET PROTECTION
5	3	RCS ROUGH CUT STREET CONTROL
6	3	ED/DS EARTH DIKES AND DRAINAGE SWALES
7	3	TER TERRACING
8	4	CD CHECK DAM
9	4	CWA CONCRETE WASHOUT AREA
10	4	SP STOCKPILE MANAGEMENT
11	5	SF SILT FENCE
12	5	SCL SEDIMENT CONTROL LOG
13	5	SBB STRAW BALE BARRIER
14	6	RS ROCK SOCK
15	6	IP INLET PROTECTION
16	6	SB SEDIMENT BASIN
17	7	CF CONSTRUCTION FENCE
18	7	VTC VEHICLE TRACKING CONTROL
19	7	SSA STABILIZED STAGING AREA
20	8	TDC TEMPORARY DIVERSION CHANNEL
21	8	DW DEWATERING
21	9	TSC TEMPORARY STREAM CROSSING

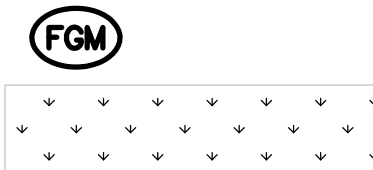
SEE JEFFERSON COUNTY G.E.S.C STANDARD DETAILS SHEETS 1-9 FOR BMP DETAILS

**EROSION AND SEDIMENT CONTROL NOTES**

- JEFFERSON COUNTY STANDARD EROSION AND SEDIMENT CONTROL NOTES ARE PROVIDED ON G.E.S.C. STANDARD NOTES AND DETAILS (REVISION 7/26/12). REFER TO SHEET 1 FOR INFORMATION.
- REFERENCE JEFFERSON COUNTY G.E.S.C. STANDARD NOTES AND DETAILS FOR ADDITIONAL INFORMATION ON THE INSTALLATION OF BMP'S AND REQUIREMENTS.
- ON SLOPES FLATTER THAN 3:1, PERMANENT VEGETATIVE COVER CONSISTING OF THE MIX NOTED BELOW SHALL BE BROADCAST SEEDED AT 8.0 POUNDS PURE LIVE SEED PER ACRE. **SM**

SPECIES	VARIETY	% OF MIX	PLS/ACRE
Blue grama	Lovington	15	0.5
Mountain Brome	Bromar	10	1.9
Sheep Fescue	Covar	15	0.7
Arizona Fescue	Redondo	20	0.9
Western Wheatgrass	Rosana	15	2.4
Slender Wheatgrass	San Luis	10	1.1
Big Bluegrass	Sherman	15	0.5
TOTAL:		100	8.0

ON SLOPES STEEPER THAN 3:1, PERMANENT VEGETATIVE COVER CONSISTING OF THE SEED MIX NOTED IS TO BE PLACED WITH A HYDRAULICALLY APPLIED EROSION CONTROL PRODUCT SUCH AS FLEXTERRA HP-FGM OR EQUIVALENT. THE SEED RATE CAN BE THE SAME AS FOR DRILL SEEDING AND MIXED WITH THE FLEXTERRA PRODUCT. THE FLEXTERRA APPLICATION RATE VARIES BY THE SLOPE OF THE RECEIVING SOIL AND OTHER SITE CONDITIONS. SEE THE FLEXTERRA DETAIL BELOW FOR ADDITIONAL APPLICATION RATE INFORMATION AND PROCEDURES.



**FLEXTERRA® HP-FGM HYDRAULICALLY APPLIED EROSION CONTROL PRODUCT (HECP)**

**SPECIFICATION: 31 25 14.13 - High Performance-Flexible Growth Medium**

This section specifies a hydraulically-applied, 100% biodegradable, High Performance-Flexible Growth Medium (HP-FGM) that is manufactured in the United States and is composed of 100% recycled thermally refined (within a pressure vessel) wood fibers, crimped interlocking man-made biodegradable fibers, micro-pore granules, naturally derived crosslinked biopolymers and water absorbents. The HP-FGM is phytosanitized, free from plastic netting, requires no curing period and upon application forms an intimate bond with the soil surface to create a continuous, porous, absorbent and flexible erosion resistant blanket that allows for rapid germination and accelerated plant growth. All components of the FGM shall be pre-packaged by the Manufacturer to assure both material performance and compliance with the following values. No chemical additives with the exception of fertilizer, liming and biostimulant materials should be added to this product.

1. Thermally Processed (within a pressure vessel) Wood Fiber - 80% ± 3%  
 • Heated to a temperature greater than 380 degrees Fahrenheit (193 degrees Celsius) for 5 minutes at a pressure greater than 50 psi (345 kPa)  
 Crosslinked Biopolymers and Water Absorbents - 10% ± 1%  
 Crimped, Man-made Biodegradable Interlocking Fibers - 8% ± 1%  
 Micro-Pore Granules - 5% ± 1%

**INSTALLATION**

Strictly comply with equipment manufacturer's installation instructions and recommendations. Use approved hydro-spraying machines with fan-type nozzle (50-degree tip). To achieve optimum soil surface coverage, apply HP-FGM from opposing directions to soil surface. Rough surfaces (rocky terrain, cat tracks and ripped soils) may require higher application rates to achieve 100% cover. Slope interruption devices or water diversion techniques are recommended when slope lengths exceed 100 feet (30 m). Maximum slope length is for product applications on a 3H:1V slope. For application on steeper slopes, slope interruption lengths may need to be decreased based on actual site conditions. Not recommended for channels or areas with concentrated water flow. No chemical additives with the exception of fertilizer, liming and biostimulant materials should be added to this product. To ensure proper application rates, measure and stake area. For maximum performance, apply HP-FGM in a two-step process as follows:

- Step One: Apply fertilizer with specified prescriptive agronomic formulations and 50% of seed with a small amount of HP-FGM for visual metering.
- Step Two: Mix balance of seed and apply HP-FGM at a rate of 50 lb per 125 gallons (23 kg/475 liters) of water over freshly seeded surfaces. Confirm loading rates with equipment manufacturer. Do not leave seeded surfaces unprotected, especially if precipitation is imminent.

**APPLICATION RATES:** These application rates are for standard conditions. Designers may wish to reduce rates to encourage faster vegetation establishment or may need to increase application rates on rough surfaces. Consult application and loading charts to determine number of bags to be added for desired area and application rate.

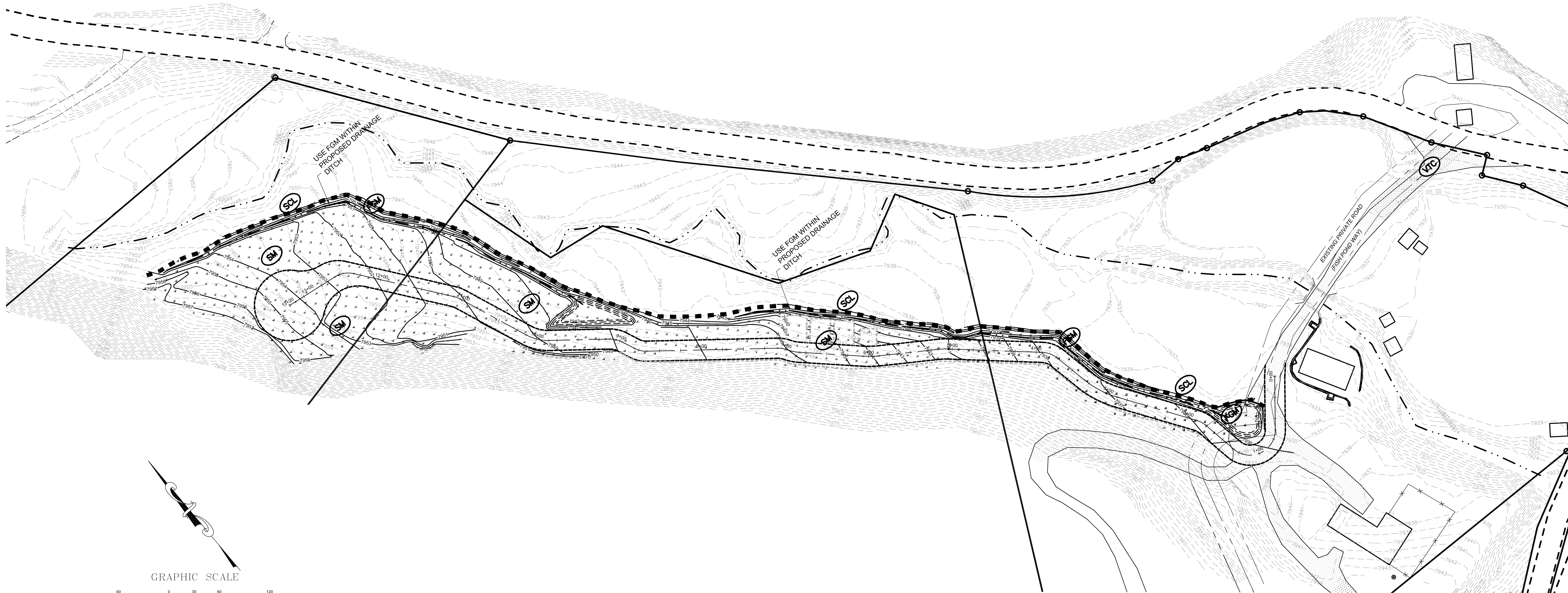
Slope Gradient / Condition	English	SI
< 4H to 1V	2500 lb/ac	2800 kg/ha
> 4H to 1V and < 3H to 1V	3000 lb/ac	3400 kg/ha
≥ 3H to 1V and < 2H to 1V	3500 lb/ac	3900 kg/ha
> 2H to 1V and ≤ 1H to 1V	4000 lb/ac	4500 kg/ha
> 1H to 1V	4500 lb/ac	5100 kg/ha
Below ECB or TRM	1500 lb/ac	1700 kg/ha
As Infil for TRM	3500 lb/ac	3900 kg/ha

SEE COMPREHENSIVE CSI FORMATTED SPECIFICATION FOR FURTHER DETAILS

PLEASE NOTE THAT THE INFORMATION PRESENTED HEREIN IS GENERAL INFORMATION ONLY. IT IS FOR CONCEPTUAL USE ONLY AND NOT INTENDED TO BE USED FOR CONSTRUCTION. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE ITS ACCURACY, THIS INFORMATION SHOULD NOT BE USED FOR A SPECIFIC APPLICATION WITHOUT INDEPENDENT PROFESSIONAL EXAMINATION AND VERIFICATION OF ITS SUITABILITY, APPLICABILITY AND ACCURACY.

**Flexterra**  
 FLEXTERRA® HP-FGM CAD Details Slope

**Profile**  
 FILE NAME: CAD Details Slope - Flexterra HP-FGM.dwg  
 CONTACT NUMBER: 800-508-8681  
 WEB SITE: www.profileproducts.com  
 DRAWN BY: MDR DATE: 06/14/10 SCALE: NOT TO SCALE  
 CHECKED BY: DATE: SHEET 1 OF 1



WATER RESOURCES FLOODPLAIN MANAGEMENT LAND DEVELOPMENT TRAFFIC

**HIGH POINT ENGINEERING**

12567 West Cedar Drive, Suite 102 • Lakewood, Colorado 80228  
 • ph: (720) 857-0616 • www.highpointengineers.com

THIS DRAWING IS CONSIDERED A PROPRIETARY PRODUCT OF HIGH POINT ENGINEERING. IT IS NOT TO BE USED OR REPRODUCED IN ANY MANNER UNLESS AUTHORIZED IN WRITING BY HIGH POINT ENGINEERING.

SHEET INDEX:

REVISION DATE	SHEET	DESCRIPTION
04-15-13	GESC-1.1	COVER AND NOTES SHEET
04-15-13	GESC-1.2	GRADING PLAN (CONT.) AND ACCESS DRIVE PROFILE
04-15-13	GESC-1.3	EROSION & SEDIMENT CONTROL PLAN
04-15-13	GESC-1.4	ROADWAY AND CONSTRUCTION DETAILS
07-26-12	GESC-2.1	JEFFERSON COUNTY G.E.S.C STANDARD DETAILS SHEETS 1-9

**GRADING, EROSION & SEDIMENT CONTROL (GESC) PLAN**

FOR  
 SHAFFERS CROSSING CAMPGROUND  
 32234 FISH POND WAY  
 PINE, CO 80470  
 JEFFERSON COUNTY

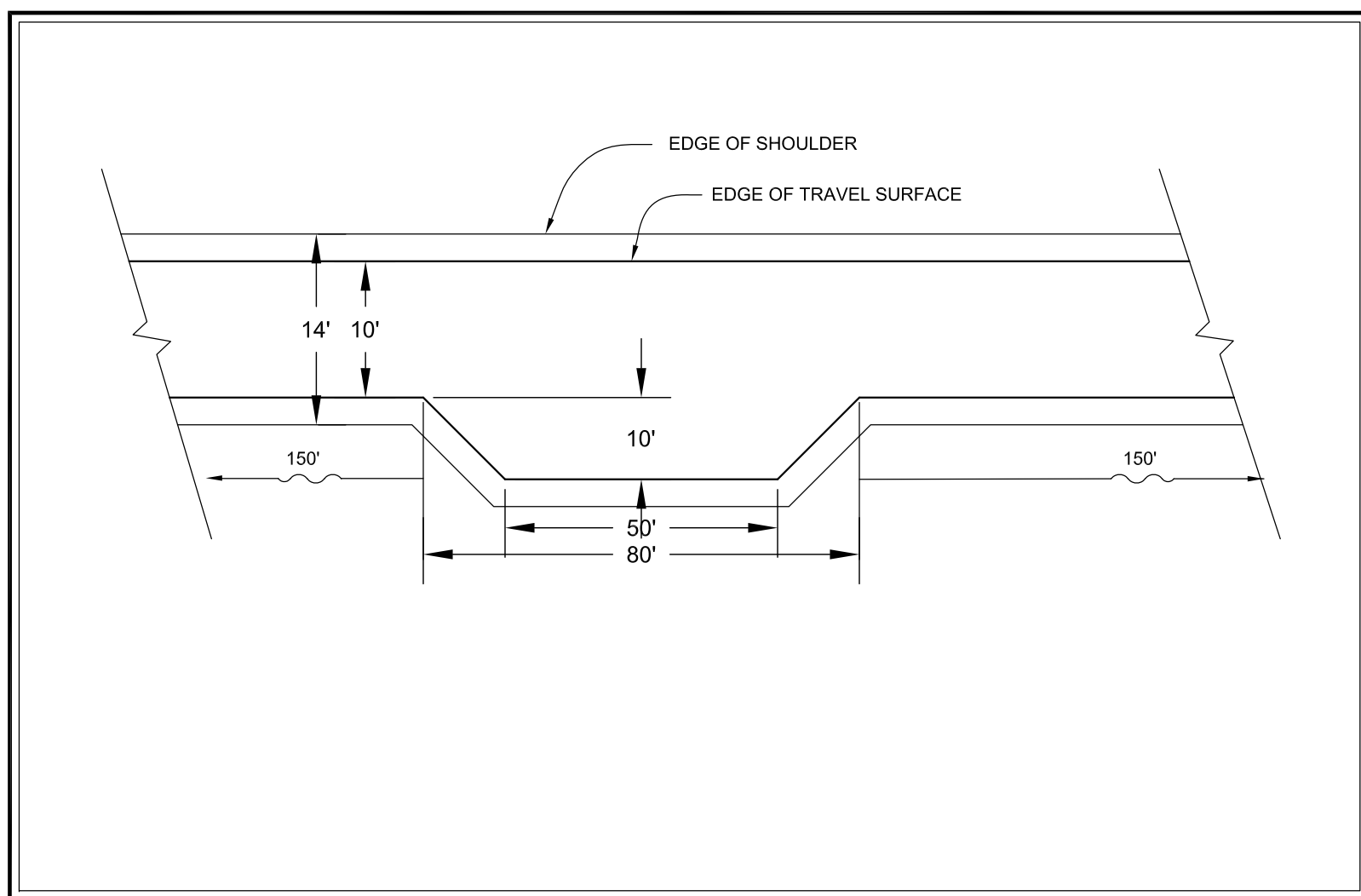


SCALE: AS SHOWN	PROJ. NO. 11-0335
DRAWING STATUS: LAND DISTURBANCE PERMIT	

SHEET: **GESC 1.4**

**EROSION & SEDIMENT CONTROL PLAN**

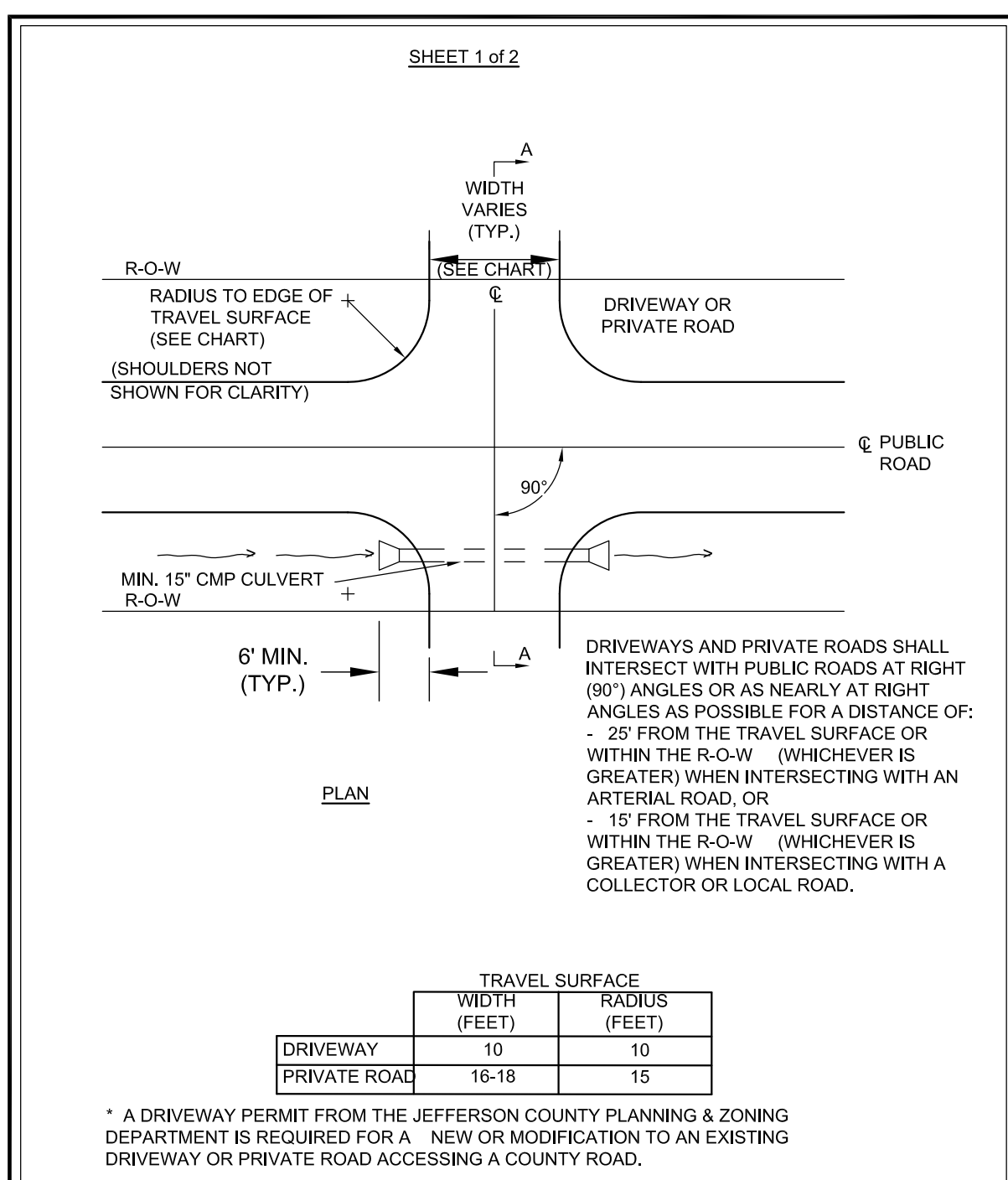




DATE: 11/27/95  
 SCALE: PULL OUT FOR PRIVATE STREET/ROAD  
 Drawn By: D.A.M.  
 Designed By: STAFF  
 FILE: TEMP-19

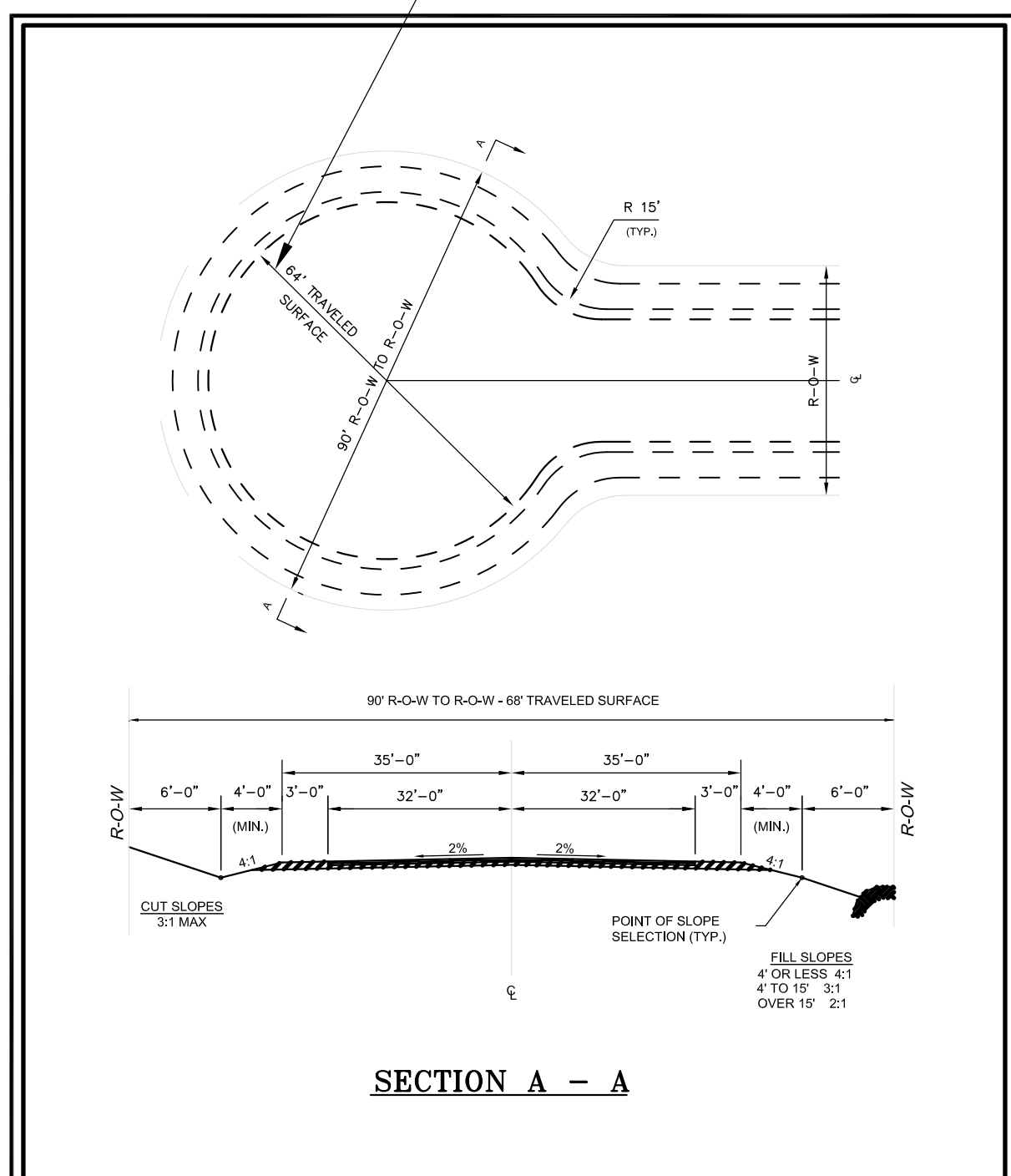
JEFFERSON COUNTY DEPARTMENT OF HIGHWAYS and TRANSPORTATION  
 100 JEFFERSON CNTY. PKWY., SUITE 3500  
 GOLDEN, CO. 80419 (303) 271-8495

USE 42-FT RADIUS, 84-FT TRAVEL SURFACE MINIMUM TO ACCOMMODATE MOTOR HOME TURNING REQUIREMENTS OF AASHTO EXHIBITS



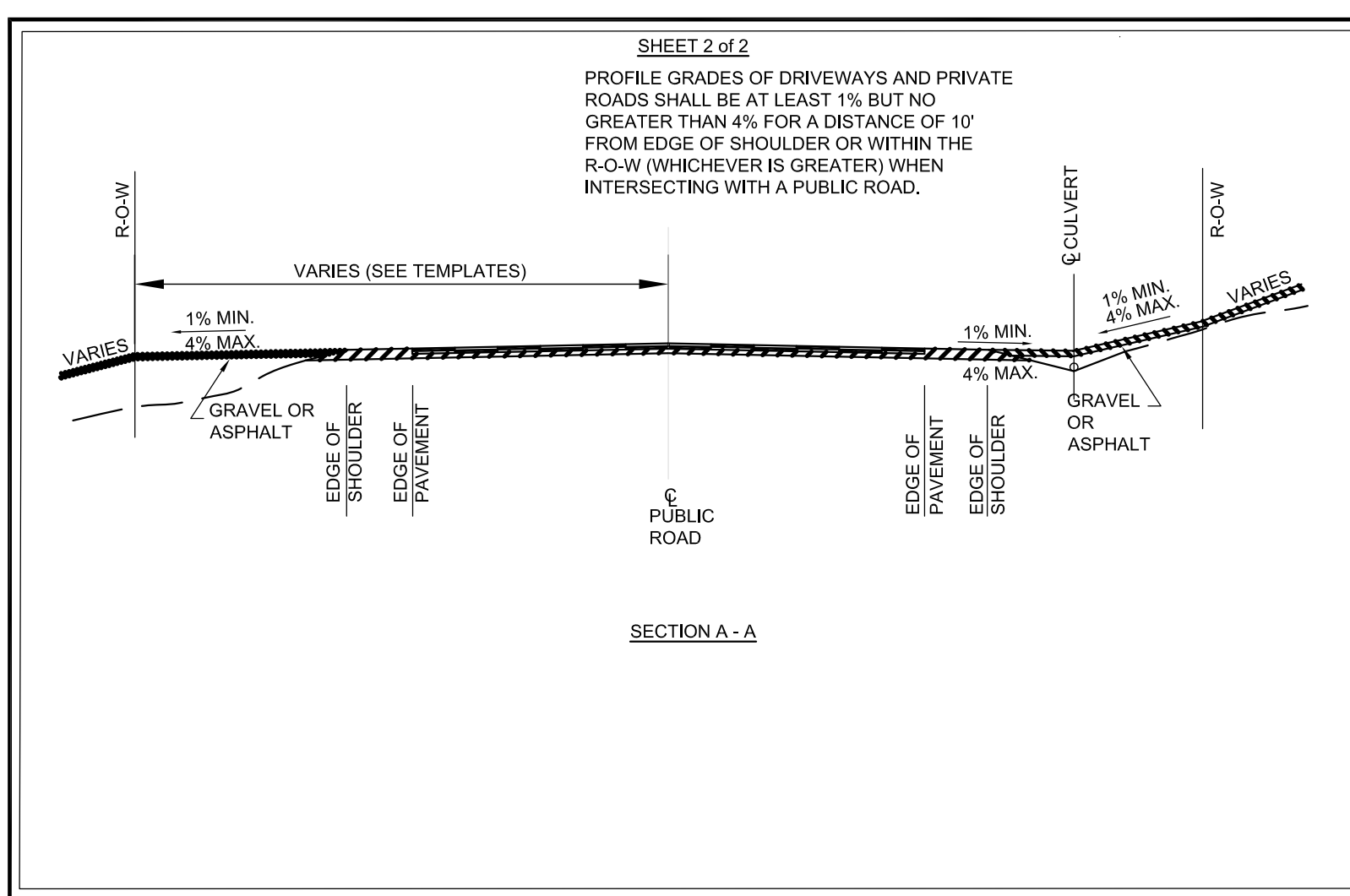
DATE: 06/04/96  
 DRAWN BY: D.A.M.  
 CHECKED BY: STAFF  
 SCALE: DRIVEWAY/PRIVATE ROAD APPROACHES FOR ROADS  
 FILE: STND-9

JEFFERSON COUNTY DEPT. OF HIGHWAYS and TRANSPORTATION  
 100 JEFFERSON CNTY. PKWY., SUITE 3500  
 GOLDEN, CO. 80419 (303) 271-8495



DATE: 3/06/95  
 DRAWN BY: D.A.M.  
 CHECKED BY: STAFF  
 SCALE: CUL-DE-SAC FOR LOCAL ROADS  
 FILE: TEMP-16

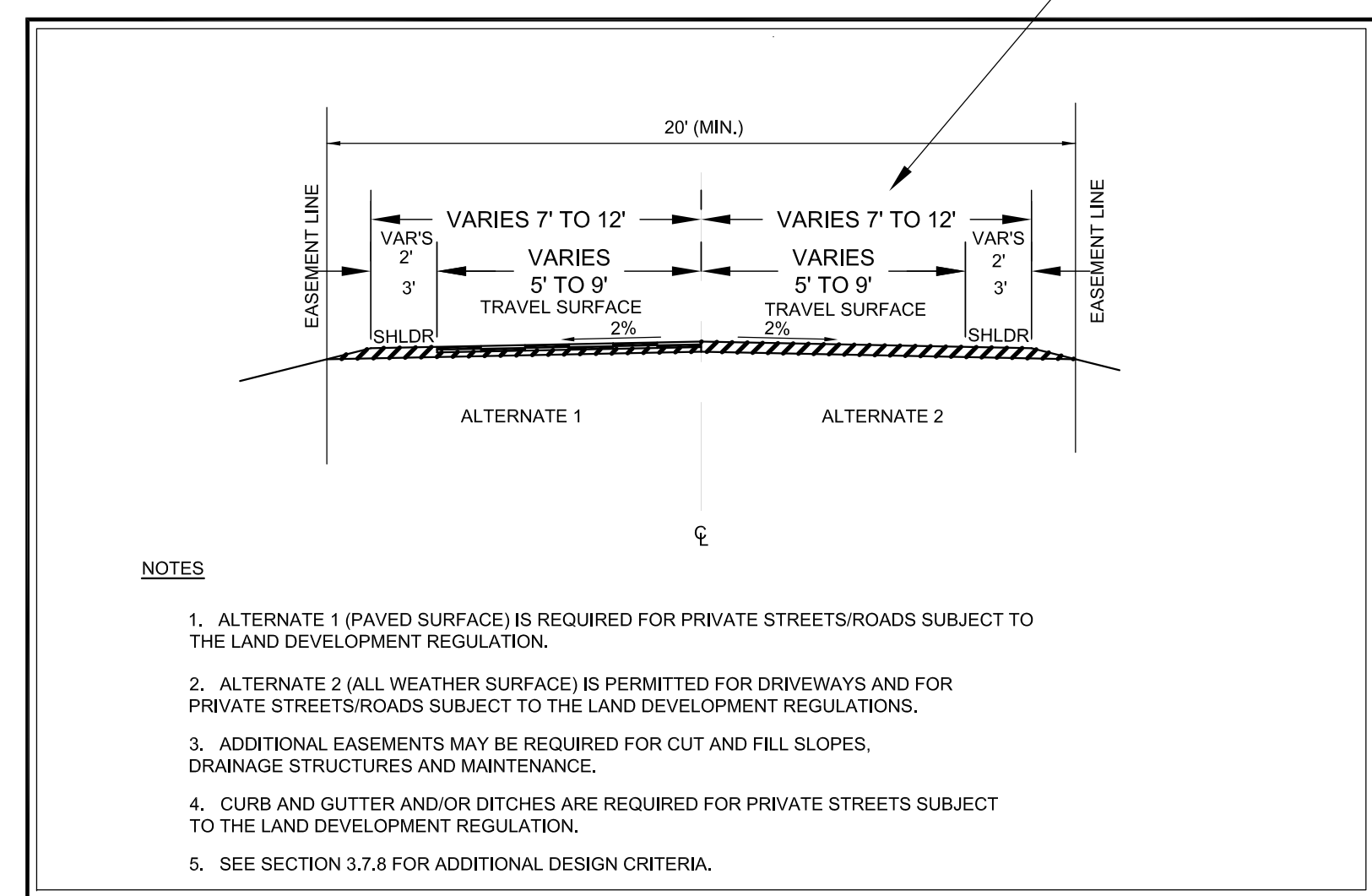
JEFFERSON COUNTY DEPT. OF HIGHWAYS and TRANSPORTATION  
 100 JEFFERSON CNTY. PKWY., SUITE 3500  
 GOLDEN, CO. 80419 (303) 271-8495



DATE: TB  
 SCALE: TB  
 Drawn By: TB  
 Designed By: TB  
 FILE: TB

DRIVEWAY/PRIVATE ROAD APPROACHES FOR ROADS

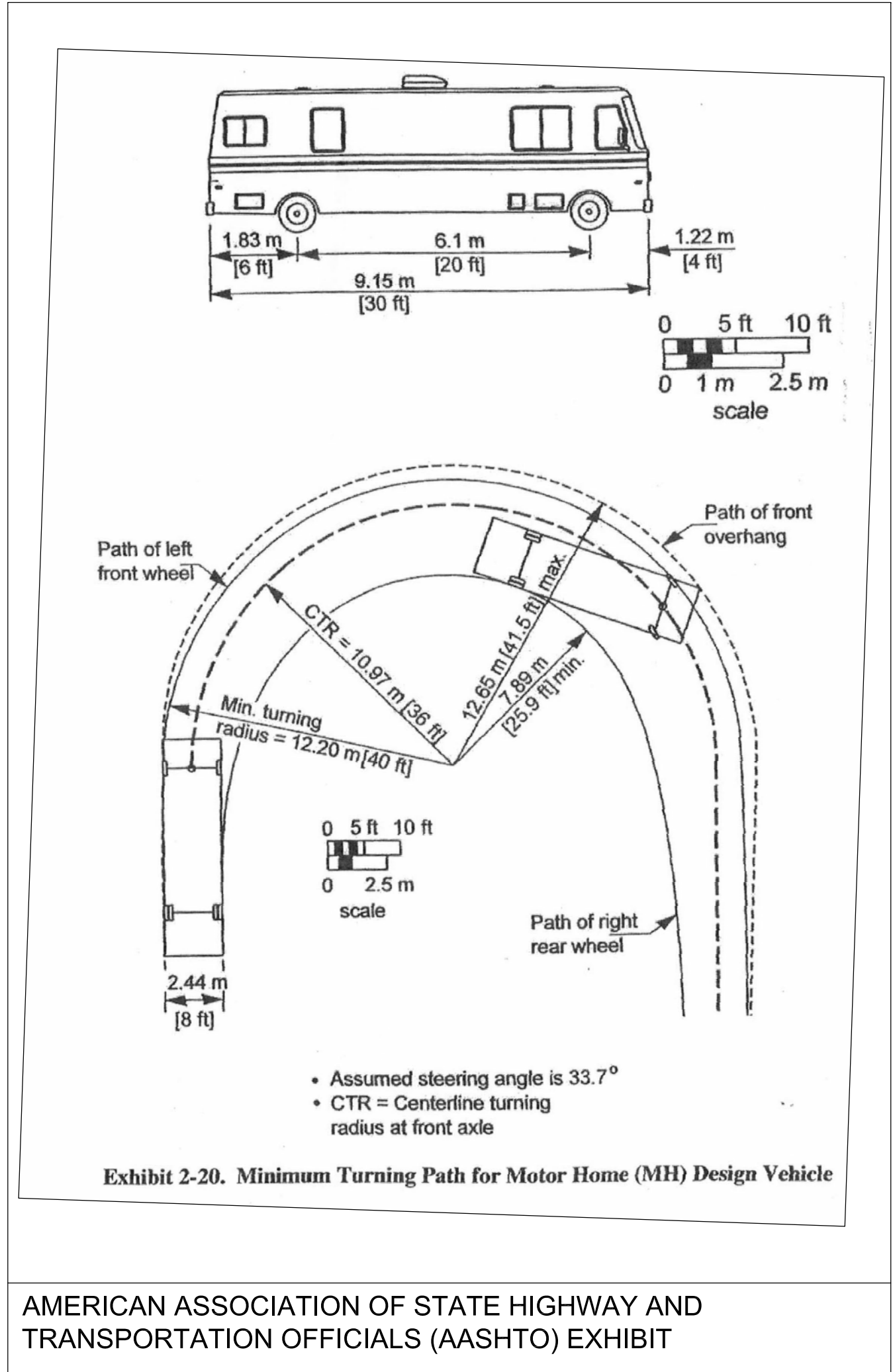
JEFFERSON COUNTY DEPARTMENT OF HIGHWAYS and TRANSPORTATION  
 100 JEFFERSON CNTY. PKWY., SUITE 3500  
 GOLDEN, CO. 80419 (303) 271-8495



DATE: 11/28/95  
 SCALE: DRIVEWAY/PRIVATE STREET/ROAD  
 Drawn By: D.A.M.  
 Designed By: STAFF  
 FILE: TEMP-17

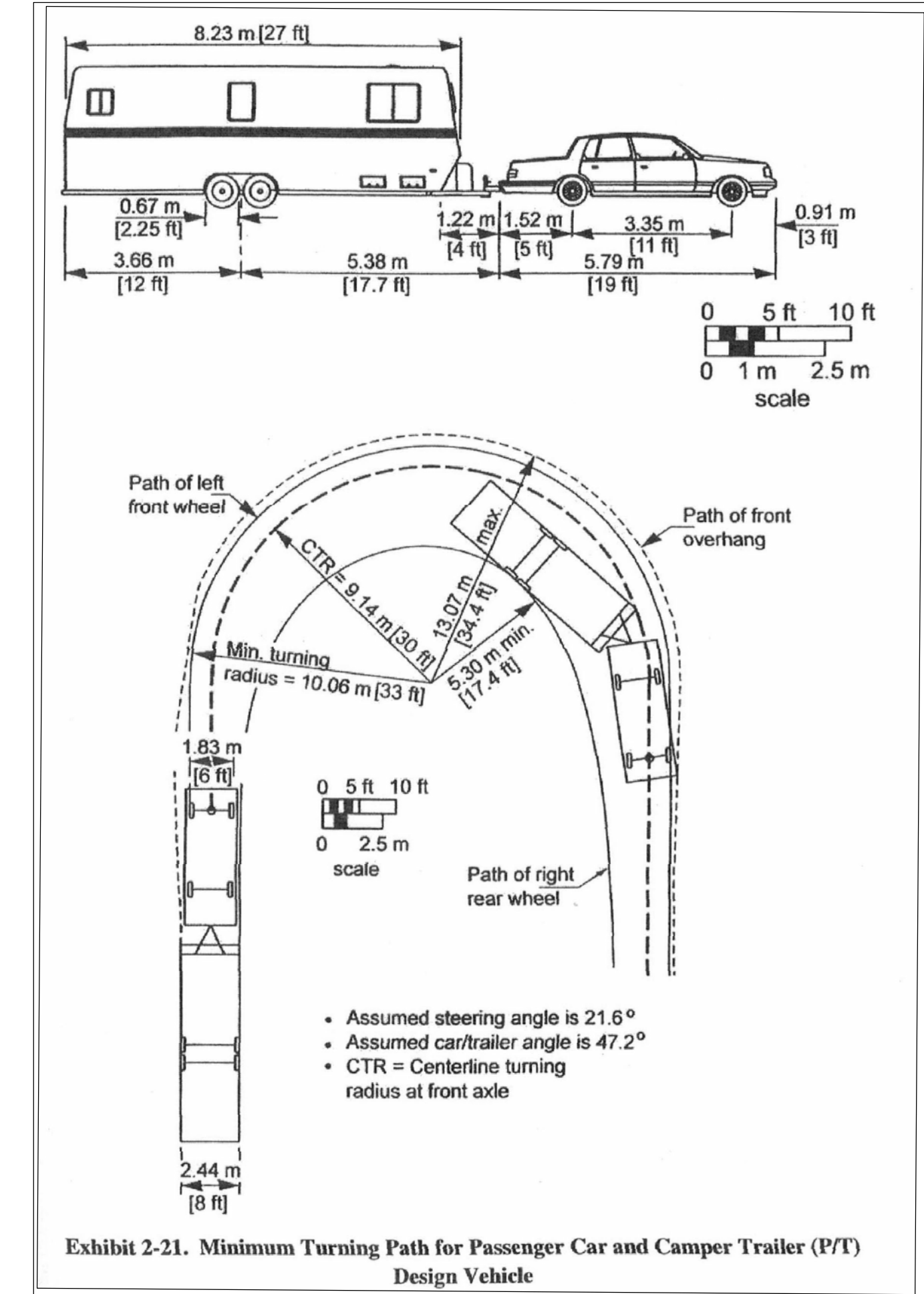
JEFFERSON COUNTY DEPARTMENT OF HIGHWAYS and TRANSPORTATION  
 100 JEFFERSON CNTY. PKWY., SUITE 3500  
 GOLDEN, CO. 80419 (303) 271-8495

- NOTES
- ALTERNATE 1 (PAVED SURFACE) IS REQUIRED FOR PRIVATE STREETS/ROADS SUBJECT TO THE LAND DEVELOPMENT REGULATION.
  - ALTERNATE 2 (ALL WEATHER SURFACE) IS PERMITTED FOR DRIVEWAYS AND FOR PRIVATE STREETS/ROADS SUBJECT TO THE LAND DEVELOPMENT REGULATIONS.
  - ADDITIONAL EASEMENTS MAY BE REQUIRED FOR CUT AND FILL SLOPES, DRAINAGE STRUCTURES AND MAINTENANCE.
  - CURB AND GUTTER AND/OR DITCHES ARE REQUIRED FOR PRIVATE STREETS SUBJECT TO THE LAND DEVELOPMENT REGULATION.
  - SEE SECTION 3.7.8 FOR ADDITIONAL DESIGN CRITERIA.



AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) EXHIBIT

PROPOSED ACCESS DRIVE, USE ALTERNATE 2: 9-FT TRAVEL SURFACE EACH LANE, 3-FT SHOULDER EACH LANE, 24-FT WIDTH FROM SHOULDER TO SHOULDER



AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) EXHIBIT

WATER RESOURCES  
 FLOODPLAIN  
 MANAGEMENT  
 LAND DEVELOPMENT  
 TRAFFIC

**HIGH POINT ENGINEERING**

12567 West Cedar Drive, Suite 102 • Lakewood, Colorado 80228  
 • ph: (720) 857-0616 • www.HighPointEng.com

THIS DRAWING IS CONSIDERED A PROPRIETARY PRODUCT OF HIGH POINT ENGINEERING. IT IS NOT TO BE USED OR REPRODUCED IN ANY MANNER UNLESS AUTHORIZED IN WRITING BY HIGH POINT ENGINEERING.

REVISION DATE	SHEET	DESCRIPTION
04-15-13	GESC-1.1	COVER AND NOTES SHEET
04-15-13	GESC-1.3	GRADING PLAN (CONT.) AND ACCESS DRIVE PROFILE
04-15-13	GESC-1.4	EROSION & SEDIMENT CONTROL PLAN
04-15-13	GESC-1.5	ROADWAY AND CONSTRUCTION DETAILS
07-28-12	GESC-2.1	JEFFERSON COUNTY G.E.S.C STANDARD DETAILS SHEETS 1-9

**GRADING, EROSION & SEDIMENT CONTROL (GESC) PLAN**

FOR SHAFERS CROSSING CAMPGROUND  
 32234 FISH POND WAY  
 PINE, CO 80470  
 JEFFERSON COUNTY



SCALE: AS SHOWN  
 PROJ. NO. 11-0335  
 DRAWING STATUS: LAND DISTURBANCE PERMIT

SHEET: **1.5**

**ROADWAY AND CONSTRUCTION DETAILS**



## **Phase III Drainage Report**

**Shaffers Crossing Campground**  
*32234 Fish Pond Way*  
*Pine, Colorado 80470*  
*Jefferson County*

***Prepared For:***  
Ronald Lewis

***Prepared By:***  
High Point Engineering  
Contact: John Tompkins, PE, CFM

Project No. 11-0335  
April 15, 2013



---

**WATER RESOURCES ■ FLOODPLAIN MANAGEMENT ■ LAND DEVELOPMENT ■ TRAFFIC**

**12567 West Cedar Drive, Suite 102 ■ Lakewood, Colorado, 80228**

**■ Ph: (720) 837-0648 ■ [www.FloodplainSpecialists.com](http://www.FloodplainSpecialists.com)**



## COMPLIANCE SHEET

Engineer's Compliance:

THIS REPORT FOR THE DRAINAGE AND WATER QUALITY DESIGN AT 32234 FISH POND WAY WAS PREPARED UNDER THE DIRECT SUPERVISION OF THE ENGINEERS AT HIGH POINT ENGINEERING IN ACCORDANCE WITH THE PROVISIONS OF JEFFERSON COUNTY STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA AND WAS DESIGNED TO COMPLY WITH THE PROVISIONS THEREOF. I UNDERSTAND THAT JEFFERSON COUNTY DOES NOT AND WILL NOT ASSUME LIABILITY FOR DRAINAGE FACILITIES DESIGNED BY OTHERS.

---

John Victor Tompkins, PE, CFM  
Registered Professional Engineer  
State of Colorado No. 41797



Developer's Compliance:

RONALD AND/OR CAROL LEWIS HEREBY CERTIFY THAT THE DRAINAGE FACILITIES FOR 32234 FISH POND WAY WILL BE CONSTRUCTED ACCORDING TO THE DESIGN PRESENTED IN THIS REPORT. I UNDERSTAND THAT JEFFERSON COUNTY DOES NOT AND WILL NOT ASSUME LIABILITY FOR DRAINAGE FACILITIES DESIGNED OR REVIEWED BY MY ENGINEER. I ALSO UNDERSTAND THAT JEFFERSON COUNTY RELIES ON THE REPRESENTATIONS OF OTHERS TO ESTABLISH THAT DRAINAGE FACILITIES ARE DESIGNED AND BUILT IN COMPLIANCE WITH APPLICABLE GUIDELINES, STANDARDS, OR SPECIFICATIONS. REVIEW BY JEFFERSON COUNTY CAN THEREFORE IN NO WAY LIMIT OR DIMINISH ANY LIABILITY WHICH I OR ANY OTHER PARTY MAY HAVE WITH RESPECT TO THE DESIGN OF SUCH FACILITIES.

---

Ronald and/or Carol Lewis

Date



## LIST OF ABBREVIATIONS, ACRONYMS, DEFINITIONS

A	area
Base flood	The 100-year flood
BFE	Base Flood Elevation
BMP(s)	Best Management Practice(s)
CDOT	Colorado Department of Transportation
CEM	Corrected Effective Model
cfs	cubic feet per second
CLOMR-F	Conditional Letter of Map Revision Based on Fill
COUNTY	Jefferson County, Colorado
CMP	Corrugated metal pipe
CRITERIA	Jefferson County Storm Drainage Design & Technical Criteria
DEM	Duplicate Effective Model
ECM	Existing Conditions Model
ECM-e	Encroachment on the Existing Conditions Model
EPA	Environmental Protection Agency
FEMA	Federal Emergency Management Agency
FIRM	Flood Insurance Rate Map
FIS	Flood Insurance Study
floodway	Limits of channel obstruction that causes a 0.5-ft rise in the base flood water surface elevation
fps	feet per second
ft	feet
gpm	gallons per minute
HAG	Highest adjacent grade
Head	hydraulic head
HEC (RAS)	Hydrologic Engineering Center River Analysis System (Ref-3)
in	inches
LAG	Lowest adjacent grade
Lf	linear feet
MANUAL	Urban Storm Drainage Criteria Manual
MDCIA	Minimizing directly connected impervious areas
N	north
NFIP	National Flood Insurance Program
NRCS	National Resources Conservation Service
PCM	Proposed Conditions Model
PTM	Post-project Conditions Model
psi	pounds per square inch
Q	Stormwater quantity flow rate, or demand
rcp	Reinforced concrete pipe
Ref	reference
ROW	Right-of-Way
sf	Square feet
SWMM	Storm Water Management Model
UDFCD	Urban Drainage Flood Control District
USGS	United States Geological Survey
V	velocity
W	west
WSEL	Water Surface Elevation
WQCV	Water Quality Capture Volume



This report is outlined according to the requirements of the CRITERIA.

## **I. GENERAL LOCATION AND DESCRIPTION**

### Property Location

The property address is 32234 Fish Pond Way, Pine, CO 80470, Jefferson County. The Jefferson County parcel identification number is 61-323-03-003. The property is located in Section 32, Township 6 South, Range 71 West of the P.M.; latitude: 39.4794-N, longitude: 105.3694-W.

### Floodplain

The property is located with a FEMA designed Zone-A floodplain, as shown on FEMA FIRM number 080590455E, effective date June 17, 2003. Elk Creek is the source of the floodplain. The floodplain limits are currently under a LOMR review by FEMA, Case number 13-08-0231P. It is anticipated that the LOMR will be approved by FEMA within a week. The floodplain limits shown on the Overall Drainage Map are the anticipated revised floodplain limits. No land disturbance is proposed within the floodplain limits being reviewed.

An analysis of the revised floodplain limits is provided by a separate document, prepared by our office, dated 02-13-2013.

### General Project Description

The property comprises Lots 1, 2, 3 and 4 of the reconfiguration of parcels of land recorded March 14, 2005 at reception number F2184883. The area of proposed land disturbance is 2.6 acres +/-; the total basin area contributing to the area of disturbance is 15.71 acres +/-; the area of imperviousness within the land disturbance is 0.781 acres- which is the hard-packed gravel surface access drive. Proposed site improvements and construction activities are to:

- Re-grade the meadow adjacent to the west side of the floodplain.
- Convert the re-graded meadow into a campground.
- Construct a private 24" wide access drive through the campground.
- Construct a total of 35 camping sites- that includes both tent and RV sites.
- Install light poles along the access drive of the campground.
- Provide two san-o-let sanitation areas.
- Install an RV dump station.
- Install a Type III drainage ditch between the east side of the campground and the west side of the floodplain to capture and convey campground runoff flows towards the MPLD ponds; the ditch also disconnects developed flow runoff from the floodplain and Elk Creek.
- Construct two MPLD ponds, one midway along the new access drive, and one at the beginning of the access drive.

## **II. DRAINAGE BASINS AND SUB-BASINS**

### Major Drainage Basin:

Three major basins were delineated: A1, A2, and B. For the locations of the basins, refer to the Overall Drainage Map included in the pocket of this report.

### Sub-Drainage Basins:

No Sub-basins were delineated.



**Developed Flows Runoff Summary:**

Basin		Q10 (cfs)	Q100 (cfs)
A1		5.0	13.9
A2		3.0	8.5
B		6.5	18.0

**III. DRAINAGE DESIGN CRITERIA**

Regulations:

The Standards of the CRITERIA and the MANUAL were followed during the development of this report; no deviations from the Standards are intended.

Development Criteria Reference and Constraints:

No atypical constraints were encountered during the development of this report.

Hydrological Criteria:

The site drainage basin, as delineated on the overall drainage basin map, is less than 160 acres; therefore, according to Table RO-1, the “Rational” hydrologic method is applicable.

**Table RO-1—Applicability of Hydrologic Methods**

Watershed Size (acres)	Is the Rational Method Applicable?	Is CUHP Applicable?
0 to 5	Yes	Yes (1)
5 to 90	Yes	Yes (1)
90 to 160	Yes	Yes
160 to 3,000	No	Yes (2)
Greater than 3,000	No	Yes (if subdivided into smaller catchments) (2)

(1) If one-minute unit hydrograph is used.

(2) Subdividing into smaller sub-catchments and routing the resultant hydrographs using SWMM may be needed to accurately model a catchment with areas of different soil types or percentages of imperviousness.

The procedures for the Rational Method, as explained in the MANUAL, were followed during hydrologic calculations. Refer to Appendix-B for hydrologic calculations.

The Rational Method is based on the Rational Formula:

$$Q = CIA$$

In which:

Q = the maximum rate of runoff (cfs)

C = a runoff coefficient that is the ratio between the runoff volume from an area and the average rate of rainfall depth over a given duration for that area.

A = area (acres)



I = average intensity of rainfall in inches per hour for a duration equal to the time of concentration,  $t_c$ . Use Jefferson County time-intensity-frequency curves to determine I based on  $t_c$  and the appropriate rainfall zone.

In which:

$$t_c = t_i + t_t$$

In which:

$$t_i = \frac{0.395(1.1 - C_5)\sqrt{L_i}}{S^{0.33}}, \text{ and } t_t = \frac{L_t}{C_v\sqrt{S}} / 60$$

In which:

$C_5$  = runoff coefficient for the 5-year storm frequency

$C_v$  = Conveyance Coefficient (MANUAL Table RO-2)

Table RO-2—Conveyance Coefficient,  $C_v$

Type of Land Surface	Conveyance Coefficient, $C_v$
Heavy meadow	2.5
Tillage/field	5
Short pasture and lawns	7
Nearly bare ground	10
Grassed waterway	15
Paved areas and shallow paved swales	20

$L_i$  = length (ft) of overland flow (500 ft max. for non-urban land uses, 300 ft maximum for urban land uses)

$L_t$  = length (ft) of channelized flow

$S$  = slope of watercourse (ft/ft)

$V$  = velocity (feet/second) =  $C_v\sqrt{S}$

$t_c$  should not exceed  $(\frac{L}{180} + 10)$ , but should be more than 10 minutes for non-urbanized areas, and more than 5 minutes for urbanized areas

Actually, Q has units of inches per hour per acre (in/hr/ac); however, since this rate differs from cubic feet per second (cfs) by less than one percent, the more common units of cfs are used by convention.

#### IV. DRAINAGE FACILITY DESIGN

##### General Concept:

One Type III drainage ditch is proposed between the east side of the campground and the west side of the floodplain to capture and convey campground runoff surface flows towards two MPLD ponds. One pond is located near midway along the new access drive, and one at the beginning of the access drive.



### Specific Details:

- Design calculations of the Type III Drainage Ditch are included in Appendix-C; the following are the results:
  - The 100-year flows within the drainage ditch are expected to be 4.4-fps.
  - 100-year flow depth is 2.1-ft; 10-year flow depth is 1.4 feet.
  - Maximum Froude number is 0.79, which is less than the 0.8 allowed per CRITERIA 7.5.2.1.
  - The proposed Type III drainage ditch has no bottom width. Side slopes are 2:1, for a total channel top width of 8.5+/- feet.
- The sizing calculations of the MPLD ponds are included in Appendix-D. Two methods of sizing were performed; Method #1 used the empirical equations for WQCV and 100-year storage volume; Method #2 was the “full spectrum” sizing approached. Both methods are discussed in the MANUAL. Method #2 resulted in a larger required detention volume of 5,227-cubic feet. Therefore, a total MPLD target volume of 5,300+/- was selected.

The grading and placement of the two MPLD ponds are shown on the Overall Drainage Map and the GESD Plans.

- Riprap:
  - The 100-year flows within the drainage ditch are expected to be 4.4-fps; since this value is below 7-fps, per CRITERIA, riprap or erosion control check dams are not proposed within the ditch.

### Stormwater Storage Facilities:

There are no existing storage facilities on site.

### Water Quality Enhancement BMPs:

There is no existing enhancement BMPs on site. Proposed BMPs have been selected according to the CRITERIA and the MANUAL ND-9 “Decision Tree for WQCV BMP Selection”, and by preference of the owner. Construction BMPs include sediment control logs, erosion control blankets, and vehicle tracking control pad. Refer to the GESD plans for the location of the BMPs. The permanent BMPs include the MPLDs; refer to Appendix-D for MPLD sizing calculations.

### Additional Permitting Requirements:

No additional permitting requirements have been considered.

## **V. CONCLUSIONS**

### Compliance with Standards:

The Standards of the CRITERIA and the MANUAL were followed during the development of this report; no deviations from the Standards are intended.

### Drainage Concept:

The proposed overall drainage pattern is consistent with the existing overall drainage pattern. Damage from storm runoff is intended to be controlled through the employment of WQCV BMPs and MDCIA. See discussion under Drainage Facility Design of this report for more information.



## VI. REFERENCES

1. Urban Drainage and Flood Control District (UDFCD). *Urban Storm Drainage Criteria Manual- Volumes 1-3 (2002)*, UDFCD, Denver, Colorado. (MANUAL)
2. Jefferson County. *Jefferson County Storm Drainage and Technical Criteria (2009)*, Jefferson County, Colorado. (CRITERIA)
3. The U.S. Army Corps of Engineers. *Hydrologic Engineering Center River Analysis System software (2008)*, U.S. Army Corps of Engineers, 1325 J Street Sacramento, CA, 95814.
4. National Geographic Maps. *TOPO! (Version 4.5.0, 2007)*, National Geographic Society, Washington, D.C.
5. Google Maps, <<http://maps.google.com/>> (April 28, 2011)
6. Jefferson County. "Jefferson County Interactive Mapping Application." <<<http://jeffco.us/jmap/>,>> Jefferson County, Colorado.
7. USDA. "Web Soil Survey." <http://websoilsurvey.nrcs.usda.gov/app/>
8. USGS (2011). "StreamStats for Colorado", <<http://water.usgs.gov/osw/streamstats/colorado.html> > (April 17, 2011).
9. Jefferson County. *Jefferson County Zoning Resolution Section 16: Land Disturbance (Amended 2-8-11)*, Jefferson County, Colorado.
10. FEMA. *Flood Insurance Study, Jefferson County, Colorado and Unincorporated Areas, , Flood Insurance Study Number 08059CV001A, (June 17, 2003)*, Federal Emergency Management Agency.
11. Jefferson County. *Jefferson County Zoning Resolution Section 50: F-P Floodplain Overlay District (Amended 4-20-10)*, Jefferson County, Colorado.
12. National Flood Insurance Program (NFIP). *Floodplain Management Requirements, A Study Guide and Desk Reference for Local Officials, FEMA 480, (February 2005)*, FEMA.



## VII. APPENDICES

### A. Property Information

- Topographic Vicinity Map
- FIRMette.
- Parcel ID and property information
- A Jefferson County records map identifying ownership area
- Warranty Deed
- Exhibit-A legal description.

### B. Hydrologic Calculations

- MANUAL recommended Runoff Coefficients based on imperviousness values
- Drainage Basin Area details map.
- Proposed conditions composite runoff coefficients
- Rainfall zones in Jefferson County map
- Jefferson County Time-Intensity Frequency Curves
- Proposed conditions runoff calculations: (Standard Forms 1 & 2 combined)

### C. Hydraulic Calculations

- Jefferson County Street/ Roadside Ditch Typical sections.
- A copy of Figure 701 from the CRITERIA
- Jefferson County small drainageway design procedures and calculations
- Calculations of ditch velocity and Froude # using 'V' Manning's n from Figure 701 of CRITERIA
- Calculations of ditch capacity and flow depth using 'C' Manning's n from Figure 701 of CRITERIA

### D. Mountain Porous Landscape (detention) Design (MPLD)

- Method #1, Empirical Equations 100-year WQCV calculations
- Method #1, Empirical Equations 100-year storage volume calculations
- Method #2 "full spectrum" detention sizing.
- A copy of Jefferson County MPLD standard detail



# APPENDIX-A



TOPO! map printed on 03/31/11 from "Untitled.tpo"

105.41667° W

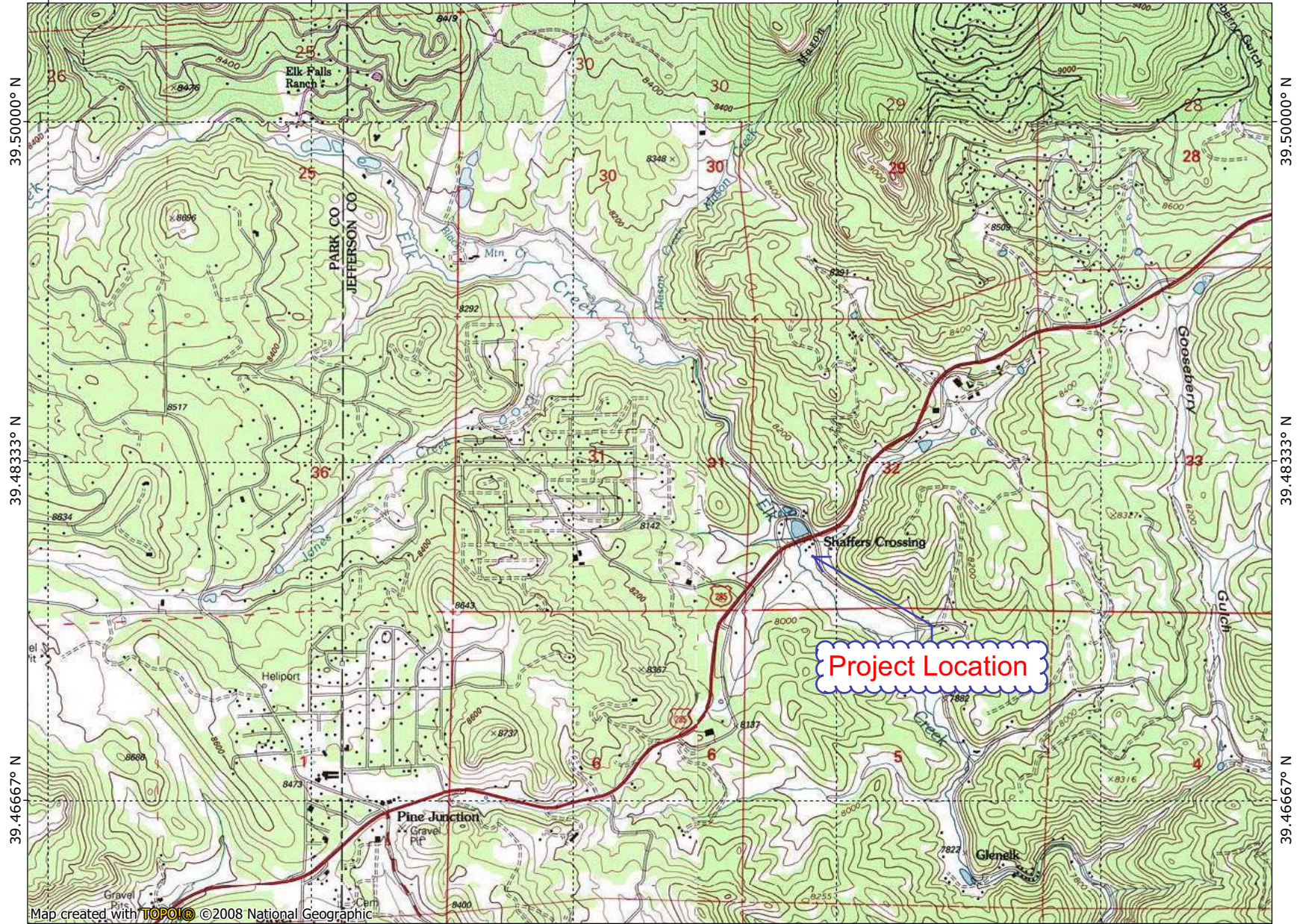
105.40000° W

105.38333° W

105.36667° W

WGS84 105.35000°

page 1 of 4



Map created with TOPO! © 2008 National Geographic

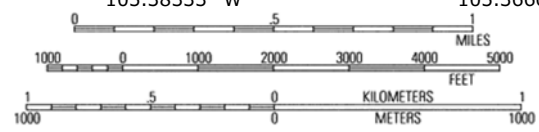
105.41667° W

105.40000° W

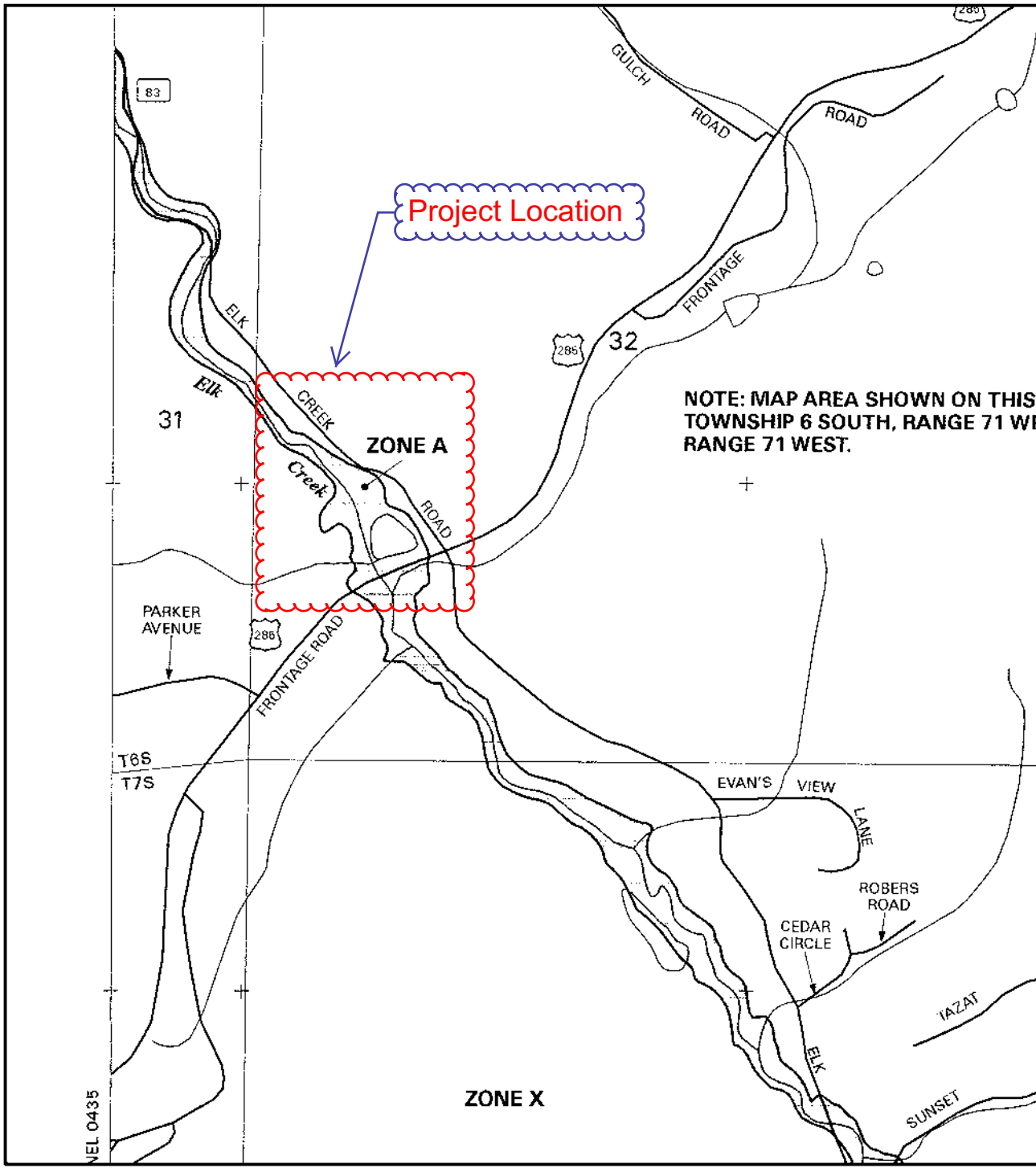
105.38333° W

105.36667° W

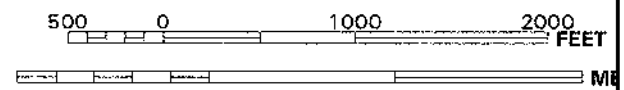
WGS84 105.35000° W







MAP SCALE 1" = 1000'



**PANEL 0455 E**

**FIRM**  
**FLOOD INSURANCE RATE MAP**  
 JEFFERSON COUNTY,  
 COLORADO AND  
 INCORPORATED AREAS

**PANEL 455 OF 675**  
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

**CONTAINS:**

COMMUNITY	NUMBER	PANEL	SUFFIX
JEFFERSON COUNTY, UNINCORPORATED AREAS	08059	0455	E

Notes to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER**  
**08059C0455 E**

**EFFECTIVE DATE:**  
**JUNE 17, 2003**

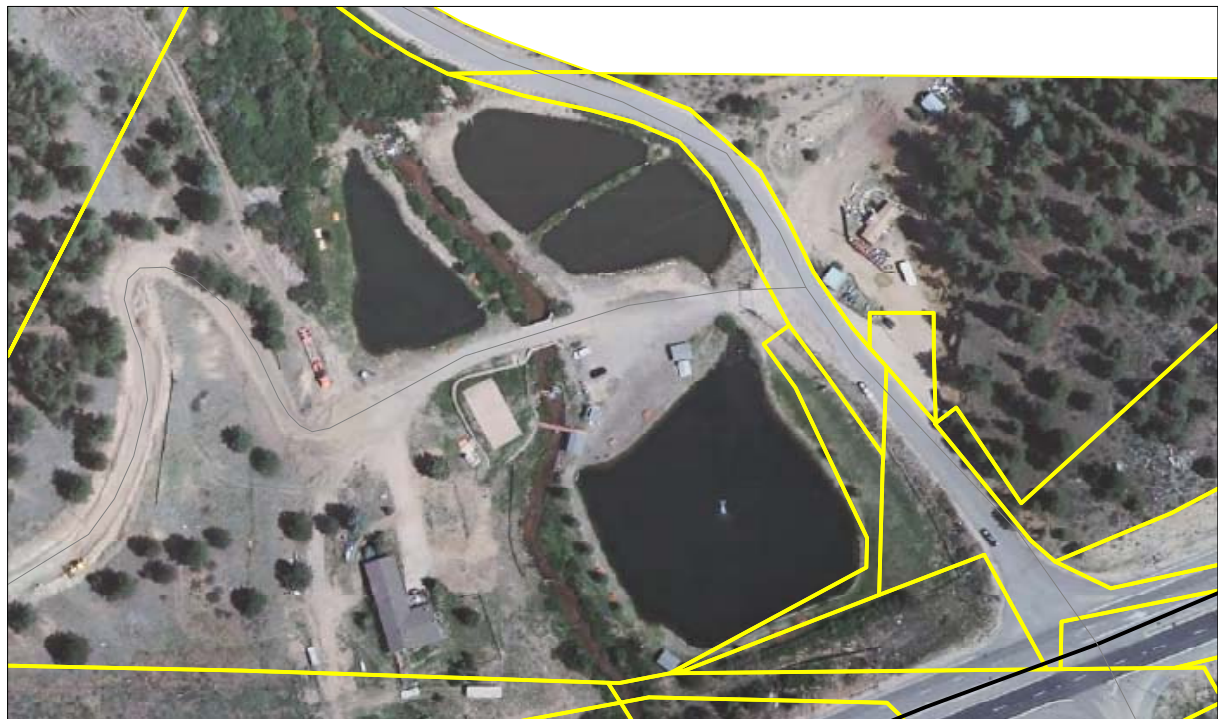
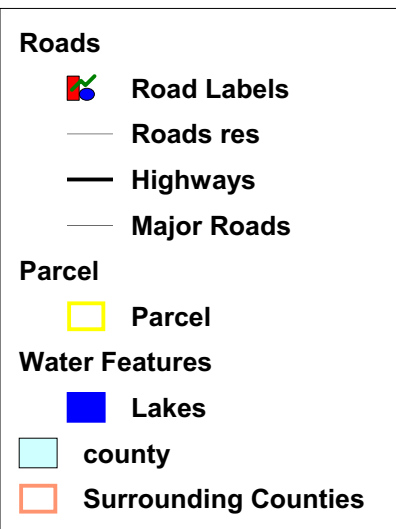
Federal Emergency Management Agency

This is an official copy of a portion of the above referenced map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information on the National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)

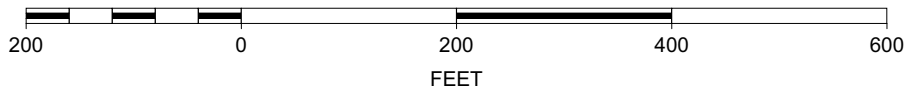
APPENDIX A  
 3017



## jMap Project Area



SCALE 1 : 2,138





**GENERAL INFORMATION**

Schedule: 212191 Parcel ID: 61-323-03-003  
 Status: Active Property Type: Commercial

[Print Help](#)

Property Address: 32234 FISH POND WAY  
 PINE CO 80470  
 Mailing Address: 05670 GREENWOOD PLAZA BLVD 55  
 GREENWOOD VILLAGE CO 80111 2409

Owner Name(s)
LEWIS RONALD P
LEWIS CAROL J

Neighborhood: 614 -

**PROPERTY DESCRIPTION**Subdivision Name: 000347 - [31-32-6-71 04-117254MA](#)

Block	Lot	Key	Section	Township	Range	QuarterSection	Land Sqft
	0003	00A	32	6	71	SW	464567
Total							464567

Assessor Parcel Maps Associated with Schedule

[pmap61-314.pdf](#)[pmap61-32.pdf](#)[Graphic Parcel Map](#)[MapQuest Location](#)**COMMERCIAL INVENTORY**

Building Number	Year Built	Quality	Floor	Structure Type	Units	Main SqFt	Basement SqFt	Land Area
1	1979	Average	1	Single Family	1	3667	1767	464567

**SALE HISTORY**

Sale Date	Sale Amount	Deed Type	Reception
04-29-2009	0	Warranty Deed - Joint Tenancy	<a href="#">2009044131</a>

**TAX INFORMATION**

2011 Payable	2012
Actual Value	
Land	81,400
Imp	244,100
Total	325,500
Assessed Value	
Land	20,955
Imp	20,540
Total	41,495

View Mill Levy Detail For Year	2012	2011
2011 Mill Levy Information		
Tax District	4482	
County	24.3460	
School	48.7210	
ELK CREEK FIRE DIST.	4.9720	
LAW ENFORCE. AUTHORITY	3.2000	
REGIONAL TRANSPORTATION DIST.	0.0000	
UPPER SO. PLATTE W. C. DIST.	0.1340	
Total	81.3730	

[Treasurer Information](#)



**WARRANTY DEED**

**THIS DEED**, Made this 28th day of April, 2009 between  
**Elk Creek Properties, LLC, a Colorado Limited Liability Company**  
of the County of Jefferson and State of COLORADO, grantor, and  
**Ronald P. Lewis and Carol J. Lewis**

whose legal address is 5670 Greenwood Plaza Blvd., Ste 505, Greenwood Villages, CO 80111-2409  
of the County of \_\_\_\_\_, State of Colorado, grantees:

**WITNESS**, That the grantor, for and in consideration of the sum of **Ten Dollars and NO/100's, (\$10.00)**,  
the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and  
by these presents does grant, bargain, sell, convey and confirm, unto the grantees, their heirs and assigns  
forever, not in tenancy in common but in **joint tenancy**, all the real property together with improvements, if  
any, situate, lying and being in the County of Jefferson, and State of COLORADO, described as follows:

See Exhibit A attached hereto and made a part hereof.

Doc Fee  
\$0.00

also known by street and number as 12833 Elk Creek Road, Conifer, CO 80433

**TOGETHER** with all and singular the hereditaments and appurtenances thereunto belonging, or in  
anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits  
thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or  
equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

**TO HAVE AND TO HOLD** the said premises above bargained and described, with the appurtenances,  
unto the grantees, their heirs and assigns forever. And the grantor, for himself, his heirs and personal  
representatives, does covenant, grant, bargain and agree to and with the grantees, their heirs and assigns, that  
at the time of the ensembling and delivery of these presents, he is well seized of the premises above conveyed,  
has good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good  
right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form as  
aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes,  
assessments, encumbrances and restrictions of whatever kind or nature soever, except all taxes and  
assessments for the current year, a lien but not yet due or payable,

The grantor shall and will **WARRANT AND FOREVER DEFEND** the above-bargained premises in the  
quiet and peaceable possession of the grantees, their heirs and assigns, against all and every person or  
persons lawfully claiming the whole or any part thereof.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be  
applicable to all genders.

**IN WITNESS WHEREOF**, the grantor has executed this deed on the date set forth above.

**SELLERS:**

**Elk Creek Properties, LLC, a Colorado Limited  
Liability Company**

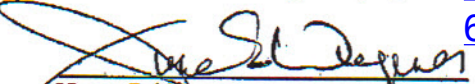
  
By Norman S. Lewis as member manager

STATE OF COLORADO  
COUNTY OF Jefferson

}ss:

The foregoing instrument was acknowledged before me this 29<sup>th</sup> day of April, 2009 by Norman S. Lewis  
as member manager of Elk Creek Properties, LLC, a Colorado Limited Liability Company

APPENDIX-A  
6 of 7

  
Notary Public  
**JUNE E. WEGENER**  
NOTARY PUBLIC

Witness my hand and official seal.  
My Commission expires: 6/24/10

Convenience Deed No Doc fee



**EXHIBIT A**  
**LEGAL DESCRIPTION**

**an undivided 90% interest in and to:**

THAT PART OF THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 31 AND PART OF THE NORTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 32, INCLUDING A PORTION OF ABANDONED STATE HIGHWAY NO. 8, (RESOLUTION NO. 847-C EFFECTIVE NOVEMBER 19, 1958), ALL IN TOWNSHIP 6 SOUTH, RANGE 71 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 31; THENCE SOUTH 87° 50' 42" WEST, ALONG THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 31, A DISTANCE OF 304.78 FEET; THENCE NORTH 61° 43' 16" WEST, A DISTANCE OF 128.80 FEET; THENCE NORTH 67° 38' 29" WEST, A DISTANCE OF 300.98 FEET; THENCE NORTH 35° 50' 23" WEST, A DISTANCE OF 120.66 FEET; THENCE NORTH 70° 47' 47" WEST, A DISTANCE OF 88.17 FEET; THENCE NORTH 17° 59' 17" WEST, A DISTANCE OF 202.72 FEET; THENCE NORTH 07° 10' 47" EAST, A DISTANCE OF 145.48 FEET; THENCE NORTH 20° 58' 40" EAST, A DISTANCE OF 88.94 FEET; THENCE NORTH 27° 49' 34" WEST, A DISTANCE OF 32.21 FEET; THENCE NORTH 24° 01' 03" EAST, A DISTANCE OF 159.71 FEET; THENCE NORTH 77° 18' 21" EAST, A DISTANCE OF 906.77 FEET, MORE OR LESS, TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF ELK CREEK ROAD (RECEPTION NO. F0738307); THENCE SOUTHERLY, ALONG SAID RIGHT OF WAY LINE, THE FOLLOWING THREE (3) COURSES: 1) SOUTH 42° 48' 04" EAST, A DISTANCE OF 202.74 FEET; 2) SOUTH 44° 17' 53" EAST, A DISTANCE OF 346.20 FEET, TO A POINT OF CURVATURE; 3) 221.77 FEET, ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 495.05 FEET AND A CENTRAL ANGLE OF 25° 40' 02", AND A CHORD OF 219.92 FEET BEARING SOUTH 53° 18' 13" EAST; THENCE SOUTH 89° 43' 01" EAST, A DISTANCE OF 40.28 FEET, MORE OR LESS, TO A POINT ON THE WESTERLY EDGE OF ELK CREEK ROAD AS TRAVELED; THENCE SOUTHERLY, ALONG THE WESTERLY EDGE OF ELK CREEK ROAD AS TRAVELED, THE FOLLOWING EIGHT (8) COURSES:

1) SOUTH 71° 15' 01" EAST, DISTANCE OF 36.63 FEET; 2) SOUTH 73° 42' 37" EAST, A DISTANCE OF 76.65 FEET; 3) SOUTH 66° 31' 12" EAST, A DISTANCE OF 42.12 FEET; 4) SOUTH 53° 13' 33" EAST, A DISTANCE OF 30.93 FEET; 5) SOUTH 41° 35' 52" EAST, A DISTANCE OF 45.34 FEET; 6) SOUTH 29° 10' 15" EAST, A DISTANCE OF 87.07 FEET; 7) SOUTH 37° 18' 35" EAST, A DISTANCE OF 126.62 FEET; 8) SOUTH 36° 38' 14" EAST, A DISTANCE OF 86.95 FEET; THENCE SOUTH 00° 35' 42" WEST, ALONG THE EAST LINE OF A PARCEL OF LAND DESCRIBED IN BOOK 2318 AT PAGE 355, A DISTANCE OF 128.66 FEET MORE OR LESS TO A POINT ON THE NORTHERLY LINE OF A PARCEL OF LAND DESCRIBED IN BOOK 1050 PAGE 303; THENCE SOUTHWESTERLY, ALONG SAID NORTHERLY LINE THE FOLLOWING TWO (2) COURSES: 1) SOUTH 67° 45' 39" WEST, A DISTANCE OF 193.96 FEET; 2) SOUTH 78° 10' 48" WEST, A DISTANCE OF 81.62 FEET; THENCE NORTH 89° 06' 14" WEST, A DISTANCE OF 349.40 FEET; THENCE NORTH 89° 47' 36" WEST, A DISTANCE OF 450.16 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

COUNTY OF JEFFERSON,  
STATE OF COLORADO.

(SAID LEGAL DESCRIPTION WAS CREATED BY PITSKER AND ASSOCIATES, PER LOTS 3 AND 4 OF THE MAP RECORDED MARCH 14, 2005, RECEPTION NO. F2184883)



# APPENDIX-B



STEP: 1

STEP: 2

Use 5%  
imperviousness

Assume soil type C and  
D for more  
conservative prediction

Table RO-3—Recommended Percentage Imperviousness Values

Land Use or Surface Characteristics	Percentage Imperviousness
<b>Business:</b>	
Commercial areas	95
Neighborhood areas	85
<b>Residential:</b>	
Single-family	*
Multi-unit (detached)	60
Multi-unit (attached)	75
Half-acre lot or larger	*
Apartments	80
<b>Industrial:</b>	
Light areas	80
Heavy areas	90
Parks, cemeteries	5
Playgrounds	10
Schools	50
Railroad yard areas	15
<b>Undeveloped Areas:</b>	
Historic flow analysis	2
Greenbelts, agricultural	2
Off-site flow analysis (when land use not defined)	45
<b>Streets:</b>	
Paved	100
Gravel (packed)	40
Drive and walks	90
Roofs	90
Lawns, sandy soil	0
Lawns, clayey soil	0

\* See Figures RO-3 through RO-5 for percentage imperviousness.

DRAINAGE CRITERIA MANUAL (V. 1)

RUNOFF

Table RO-5—Runoff Coefficients, C

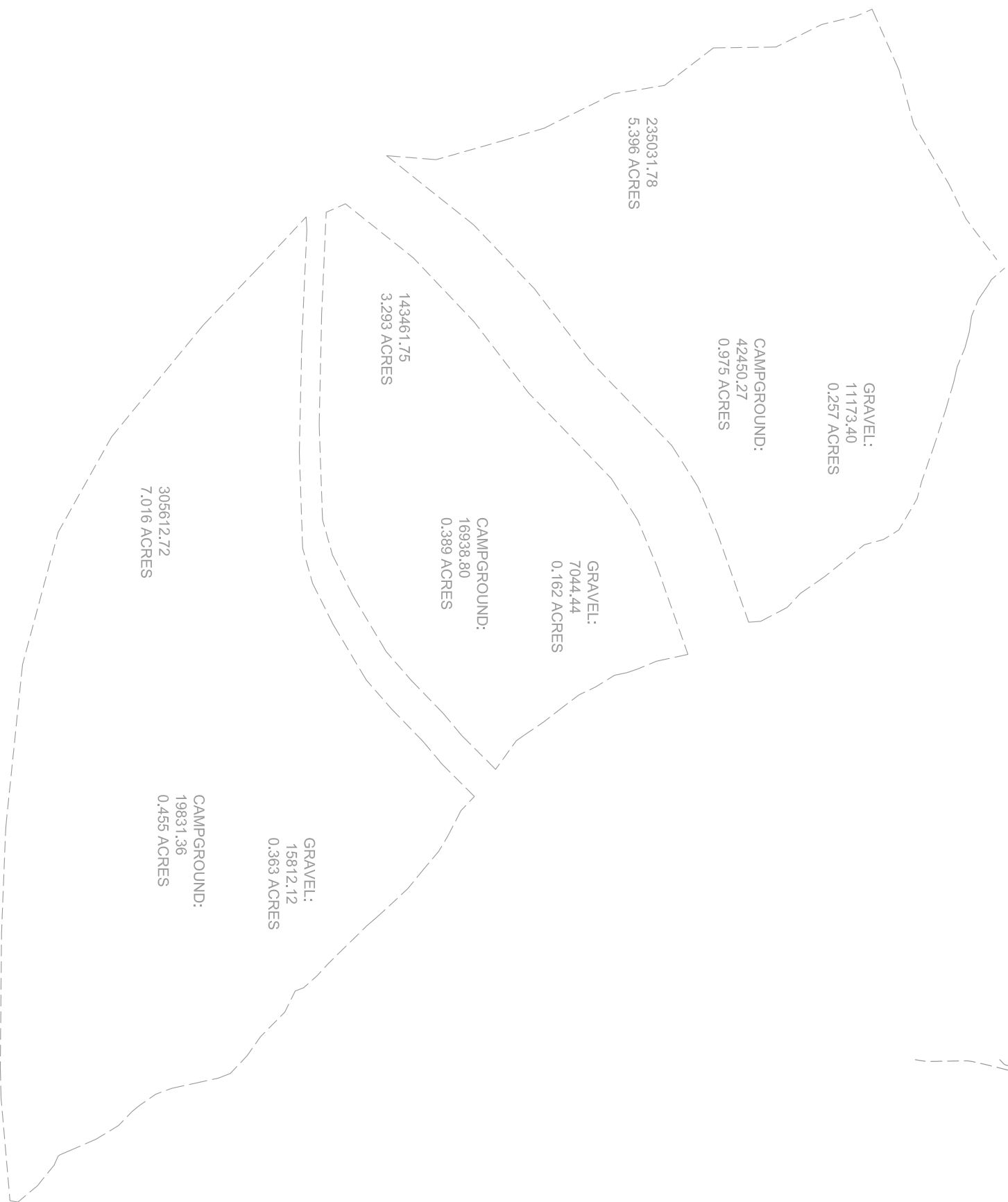
Percentage Imperviousness	Type C and D NRCS Hydrologic Soil Groups					
	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr
0%	0.04	0.15	0.25	0.37	0.44	0.50
5%	0.08	0.18	0.28	0.39	0.46	0.52
10%	0.11	0.21	0.30	0.41	0.47	0.53
15%	0.14	0.24	0.32	0.43	0.49	0.54
20%	0.17	0.26	0.34	0.44	0.50	0.55
25%	0.20	0.28	0.36	0.46	0.51	0.56
30%	0.22	0.30	0.38	0.47	0.52	0.57
35%	0.25	0.33	0.40	0.48	0.53	0.57
40%	0.28	0.35	0.42	0.50	0.54	0.58
45%	0.31	0.37	0.44	0.51	0.55	0.59
50%	0.34	0.40	0.46	0.53	0.57	0.60
55%	0.37	0.43	0.48	0.55	0.58	0.62
60%	0.41	0.46	0.51	0.57	0.60	0.63
65%	0.45	0.49	0.54	0.59	0.62	0.65
70%	0.49	0.53	0.57	0.62	0.65	0.68
75%	0.54	0.58	0.62	0.66	0.68	0.71
80%	0.60	0.63	0.66	0.70	0.72	0.74
85%	0.66	0.68	0.71	0.75	0.77	0.79
90%	0.73	0.75	0.77	0.80	0.82	0.83
95%	0.80	0.82	0.84	0.87	0.88	0.89
100%	0.89	0.90	0.92	0.94	0.95	0.96
	TYPE B NRCS HYDROLOGIC SOILS GROUP					
0%	0.02	0.08	0.15	0.25	0.30	0.35
5%	0.04	0.10	0.19	0.28	0.33	0.38
10%	0.06	0.14	0.22	0.31	0.36	0.40
15%	0.08	0.17	0.25	0.33	0.38	0.42
20%	0.12	0.20	0.27	0.35	0.40	0.44
25%	0.15	0.22	0.30	0.37	0.41	0.46
30%	0.18	0.25	0.32	0.39	0.43	0.47
35%	0.20	0.27	0.34	0.41	0.44	0.48
40%	0.23	0.30	0.36	0.42	0.46	0.50
45%	0.26	0.32	0.38	0.44	0.48	0.51
50%	0.29	0.35	0.40	0.46	0.49	0.52
55%	0.33	0.38	0.43	0.48	0.51	0.54
60%	0.37	0.41	0.46	0.51	0.54	0.56
65%	0.41	0.45	0.49	0.54	0.57	0.59
70%	0.45	0.49	0.53	0.58	0.60	0.62
75%	0.51	0.54	0.58	0.62	0.64	0.66
80%	0.57	0.59	0.63	0.66	0.68	0.70
85%	0.63	0.66	0.69	0.72	0.73	0.75
90%	0.71	0.73	0.75	0.78	0.80	0.81
95%	0.79	0.81	0.83	0.85	0.87	0.88
100%	0.89	0.90	0.92	0.94	0.95	0.96

2007-01  
Urban Drainage and Flood Control District

RO-11

Runoff Coefficients, C





235031.78  
5.396 ACRES

GRAVEL:  
11173.40  
0.257 ACRES

CAMPGROUND:  
42450.27  
0.975 ACRES

143461.75  
3.293 ACRES

GRAVEL:  
7044.44  
0.162 ACRES

CAMPGROUND:  
16938.80  
0.389 ACRES

305612.72  
7.016 ACRES

GRAVEL:  
15812.12  
0.363 ACRES

CAMPGROUND:  
19831.36  
0.455 ACRES



**PROPOSED  
COMPOSITE  
COEFFICIENTS**

Basin ID	Camp area, grass, landscape acres				Undeveloped acres				Concrete/Asphalt Paved Road acres				Gravel Surface acres				Total Basin area	Developed Area	weighted coefficients				Weighted Imperviousness (%) **
	10 %				5 %				100 %				40 %						(C <sub>2</sub> )	(C <sub>5</sub> )	(C <sub>10</sub> )	(C <sub>100</sub> )	
	(C <sub>2</sub> )	(C <sub>5</sub> )	(C <sub>10</sub> )	(C <sub>100</sub> )	(C <sub>2</sub> )	(C <sub>5</sub> )	(C <sub>10</sub> )	(C <sub>100</sub> )	(C <sub>2</sub> )	(C <sub>5</sub> )	(C <sub>10</sub> )	(C <sub>100</sub> )	(C <sub>2</sub> )	(C <sub>5</sub> )	(C <sub>10</sub> )	(C <sub>100</sub> )							
A1			0.975		4.165				0.000				0.257				5.396	1.232	0.09	0.17	0.29	0.52	16
A2			0.389		2.742				0.000				0.162				3.293	0.551	0.09	0.17	0.29	0.52	19
B			0.455		6.198				0.000				0.363				7.016	0.818	0.09	0.16	0.29	0.52	23
total			1.819		13.10				0.000				0.781				15.71	2.60	acres				

15.71

\* Runoff coefficient values determined from "Runoff Coefficients", this appendix

\*\* Does not include undeveloped area because imperviousness value will be used to determine detention volume, detention volume needs only to account for developed areas

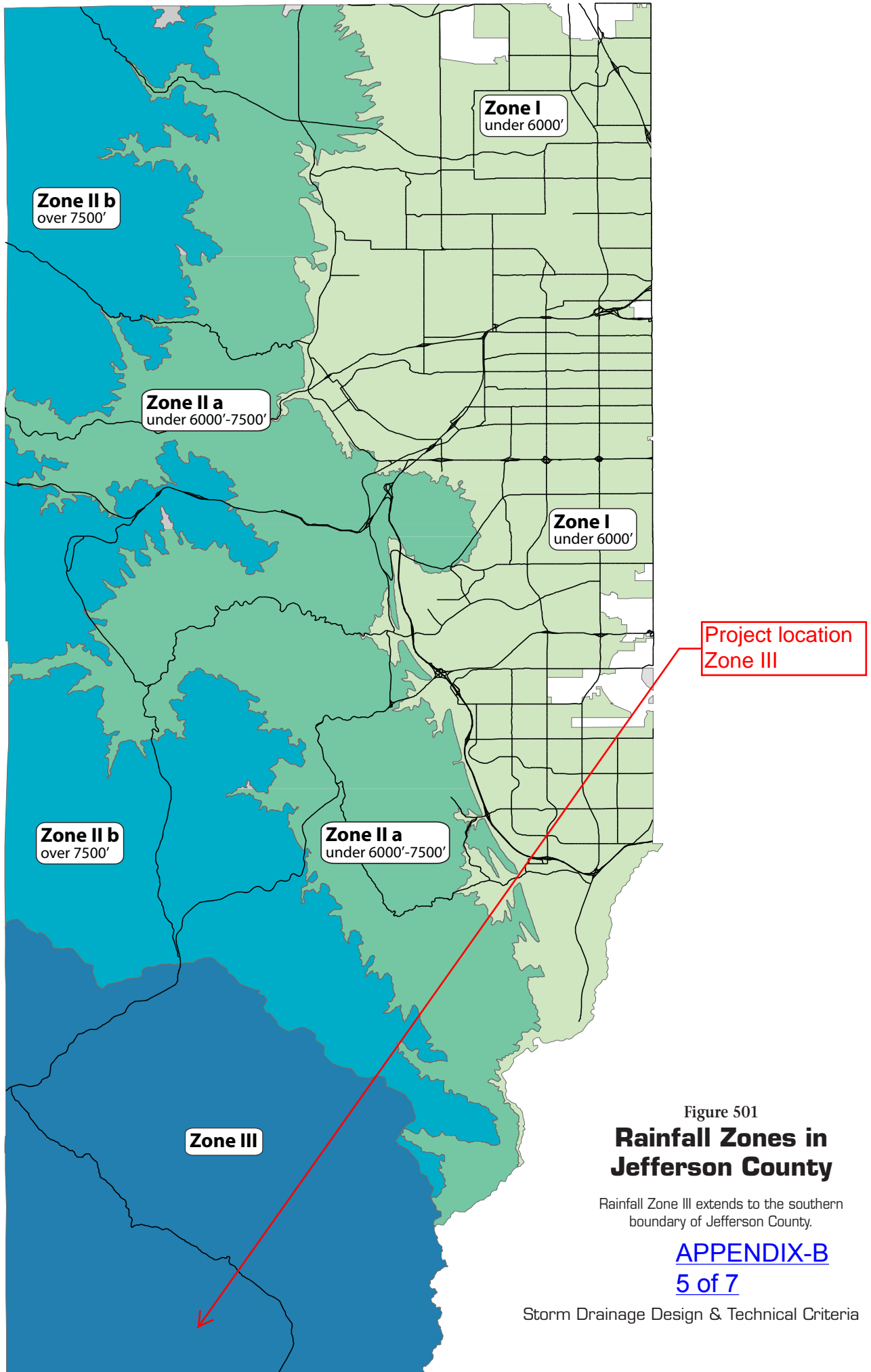


Figure 501  
**Rainfall Zones in Jefferson County**

Rainfall Zone III extends to the southern boundary of Jefferson County.

APPENDIX-B  
5 of 7



# Time-Intensity Frequency Curves

Figure 502A  
**Zone I**

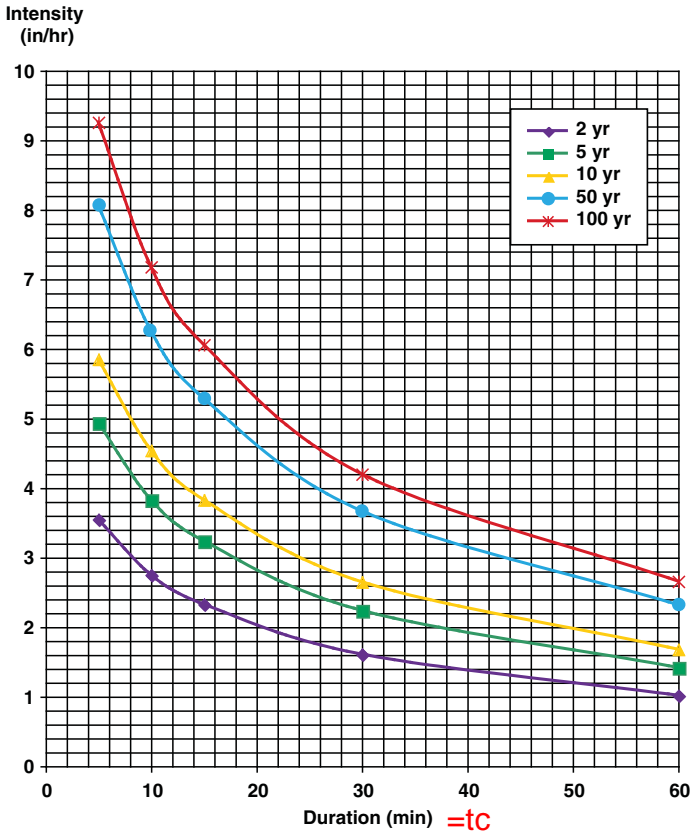


Figure 502B  
**Zone IIA**

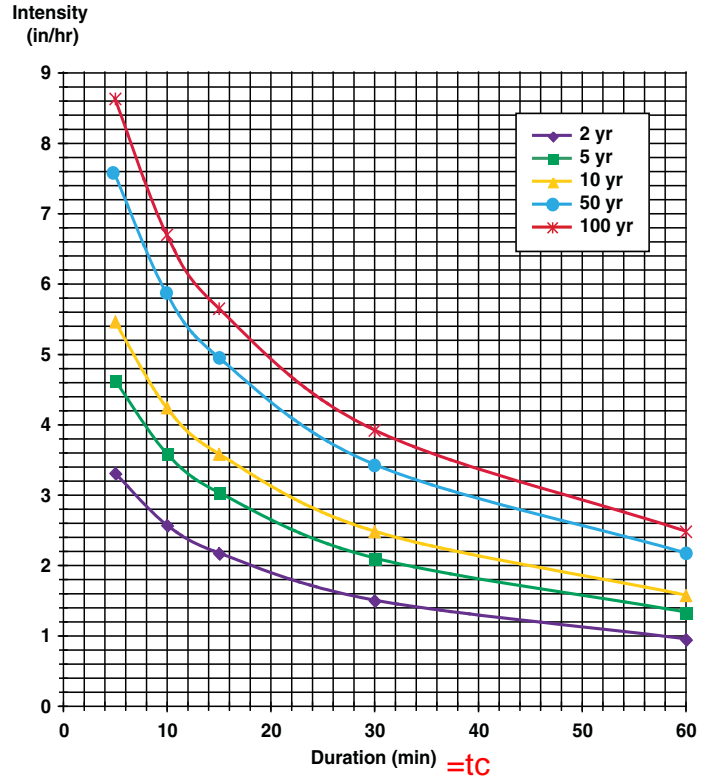


Figure 502C  
**Zone IIB**

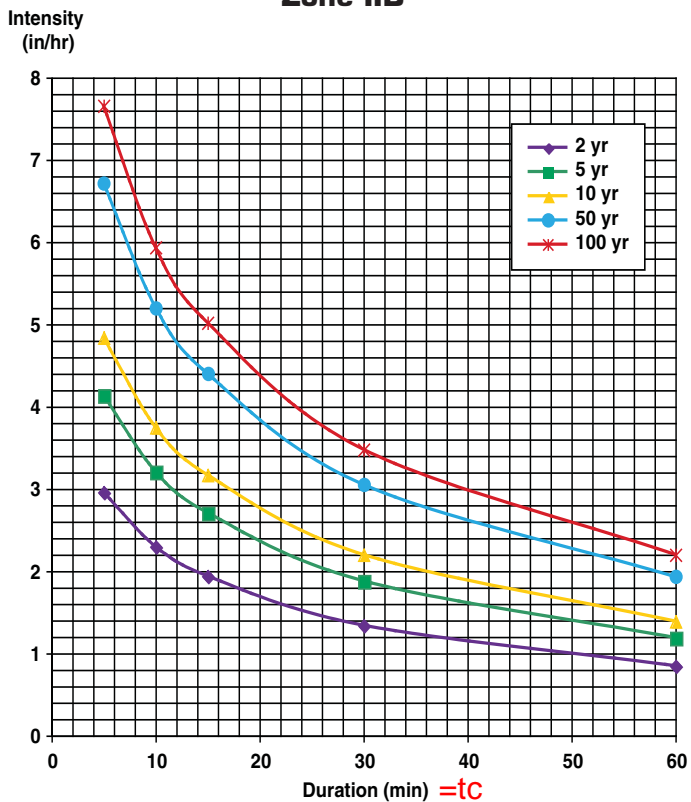
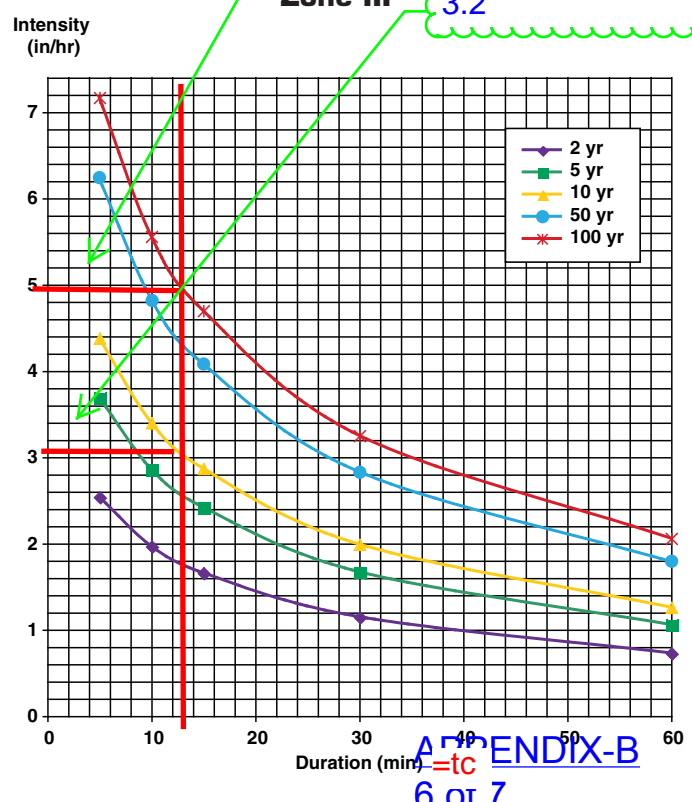


Figure 502D  
**Zone III**



APPENDIX-B  
6 OF 7

## Proposed Runoff Calculations

(Standard Forms 1 & 2 combined)

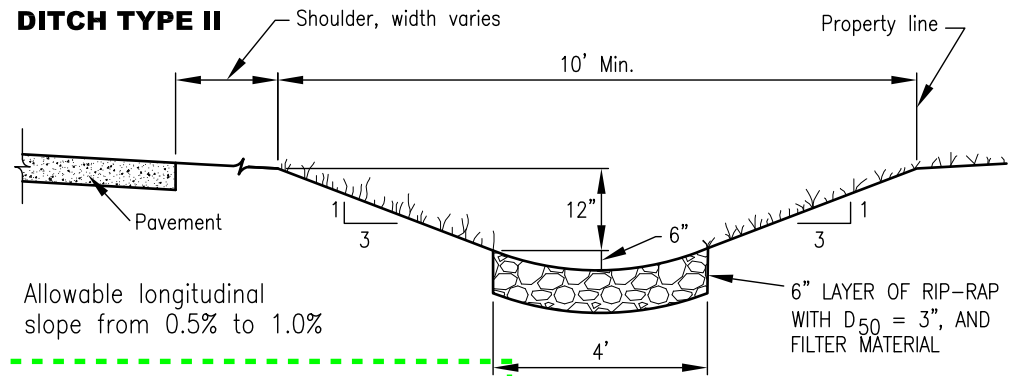
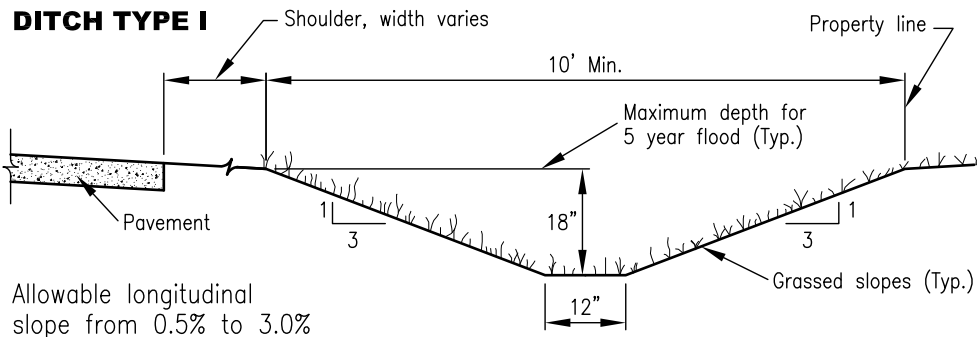
Basin Data					Initial travel time, $t_i$			travel time, $t_t$					$t_c$ check (non-urbanized basins)					Intensity				Runoff		
Basin ID	Area (acres)	5-year Runoff Coeff. (C5)	10-year Runoff Coeff. (C10)	100-year Runoff Coeff. (C100)	Overland length (L, feet) *	Slope (ft/ft)	$t_i$	Length (L <sub>t</sub> , feet)	Slope (ft/ft)	conv. Coeff. (C <sub>v</sub> )	VELOCITY (fps)	$t_t$	$t_c = t_i + t_t$	total length	$t_c \text{ max.} = (L/180 + 10)**$	$t_c \text{ if } < \text{ than maximum}$	$t_c \text{ final, } > \text{ than or } = 10 **$	10-year Intensity (in/hr) ***	100-year Intensity (in/hr) ***	C*A 10	C*A 100	10-year Q (cfs)	100-year Q (cfs)	
A1	5.396		0.29	0.52	500	0.3	14.46	150	0.03	2.5	0.43	5.77	20.23	650.0	13.6	13.6	13.6	3.2	4.9	1.57	2.83	5.0	13.9	
A2	3.293		0.29	0.52	500	0.3	14.46	150	0.03	2.5	0.43	5.77	20.23	650.0	13.6	13.6	13.6	3.2	4.9	0.95	1.73	3.0	8.5	
B	7.016		0.29	0.52	500	0.3	14.46	80	0.03	2.5	0.43	3.08	17.53	580.0	13.2	13.2	13.2	3.2	4.9	2.02	3.67	6.5	18.0	

\* Length should not exceed 500-feet for non-urban uses, 300-feet for urban uses  
 \*\*  $t_c$  should not exceed  $(L/180 + 10)$ , and should be more than 10 minutes for non-urbanized areas, and more than 5 minutes for urbanized areas.  
 \*\*\* Use Figures 502 A-D, Rainfall Time-Intensity Frequency Curve, Jefferson County, Colorado



# APPENDIX-C

## Street / Roadside Ditch Sections



**DITCH TYPE III**  
Private Road Only

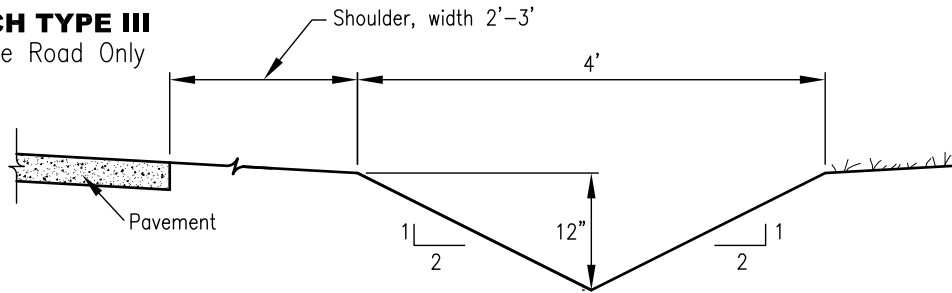
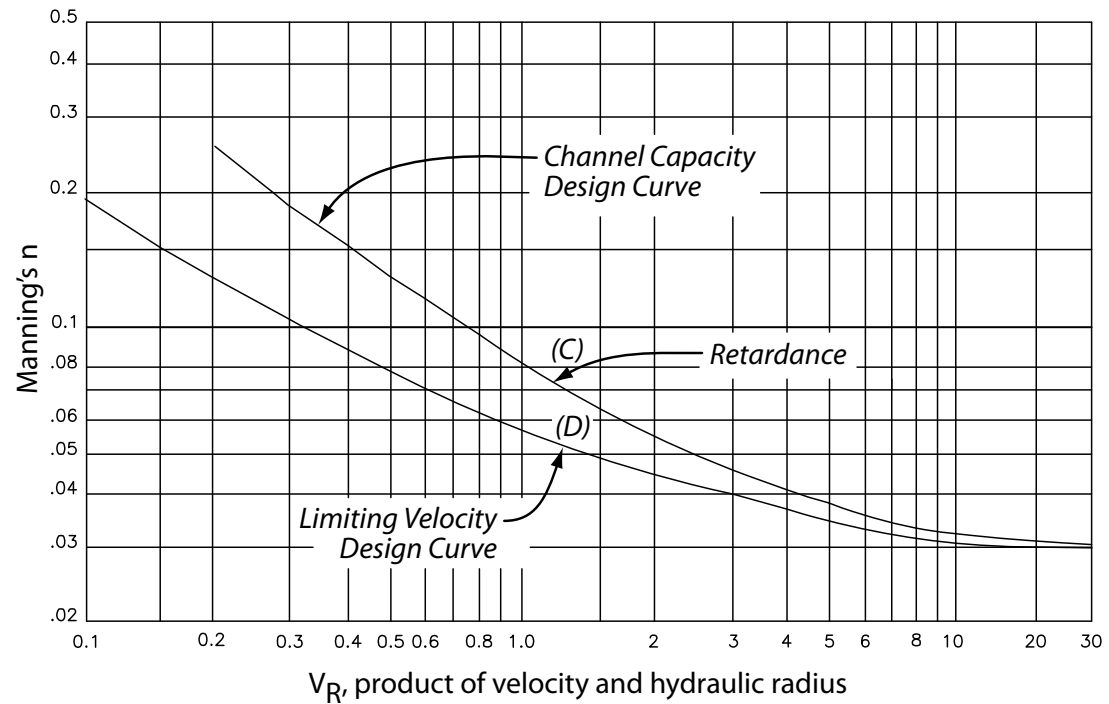




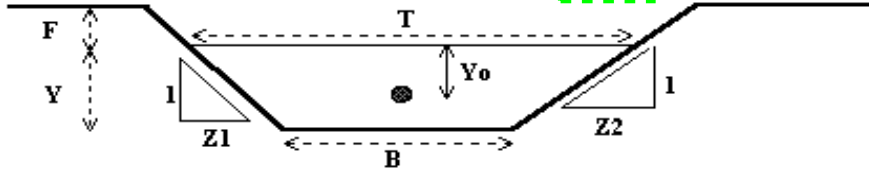
Figure 701  
**Roughness Coefficients for Grassed Channels**



Reference: Handbook of Channel Design for Soil and Water Conservation, U.S. Department of Agriculture, Soils Conservation Service, No. SCS-TP-61 March, 1947, Rev. June, 1954.

## Normal Flow Analysis - Trapezoidal Channel

Project: **32234 Fish Pond Way**  
 Channel ID: **east side (ditch type III), 10-yr**

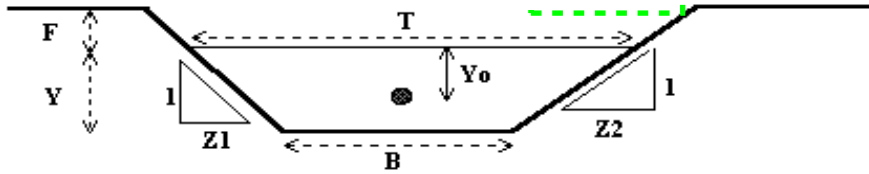


<b>Design Information (Input)</b>	
Channel Invert Slope	So = <span style="background-color: #e0f7fa;">0.0150</span> ft/ft
Manning's n	n = <span style="background-color: #e0f7fa;">0.038</span>
Bottom Width	B = <span style="background-color: #e0f7fa;">0.00</span> ft
Left Side Slope	Z1 = <span style="background-color: #e0f7fa;">2.00</span> ft/ft
Right Side Slope	Z2 = <span style="background-color: #e0f7fa;">2.00</span> ft/ft
Freeboard Height	F = <span style="background-color: #e0f7fa;">0.00</span> ft
Design Water Depth	Y = <span style="background-color: #e0f7fa;">1.42</span> ft
<b>Normal Flow Condition (Calculated)</b>	
<b>Discharge</b>	<b>Q = <span style="background-color: #e0f7fa;">14.31</span> cfs</b>
<b>Froude Number</b>	<b>Fr = <span style="background-color: #e0f7fa;">0.74</span></b>
<b>Flow Velocity</b>	<b>V = <span style="background-color: #e0f7fa;">3.55</span> fps</b>
Flow Area	A = <span style="background-color: #e0f7fa;">4.03</span> sq ft
Top Width	T = <span style="background-color: #e0f7fa;">5.68</span> ft
Wetted Perimeter	P = <span style="background-color: #e0f7fa;">6.35</span> ft
Hydraulic Radius	R = <span style="background-color: #e0f7fa;">0.64</span> ft
Hydraulic Depth	D = <span style="background-color: #e0f7fa;">0.71</span> ft
Specific Energy	Es = <span style="background-color: #e0f7fa;">1.62</span> ft
Centroid of Flow Area	Yo = <span style="background-color: #e0f7fa;">0.47</span> ft
Specific Force	Fs = <span style="background-color: #e0f7fa;">0.22</span> kip



## Normal Flow Analysis - Trapezoidal Channel

Project: 32234 Fish Pond Way  
 Channel ID: east side (ditch type III), 100-yr



### Design Information (Input)

Channel Invert Slope	$S_o =$	<span style="background-color: #e0ffff;">0.0150</span> ft/ft
Manning's n	$n =$	<span style="background-color: #e0ffff;">0.038</span>
Bottom Width	$B =$	<span style="background-color: #e0ffff;">0.00</span> ft
Left Side Slope	$Z_1 =$	<span style="background-color: #e0ffff;">2.00</span> ft/ft
Right Side Slope	$Z_2 =$	<span style="background-color: #e0ffff;">2.00</span> ft/ft
Freeboard Height	$F =$	<span style="background-color: #e0ffff;">0.00</span> ft
Design Water Depth	$Y =$	<span style="background-color: #e0ffff;">2.11</span> ft

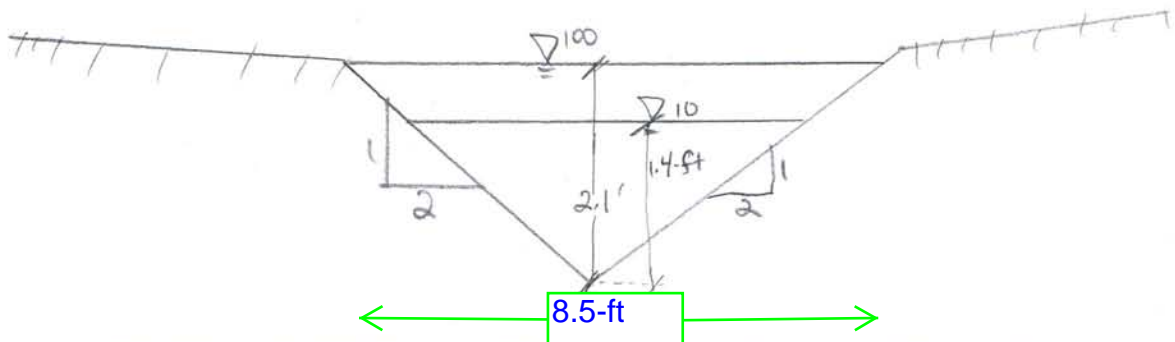
### Normal Flow Condition (Calculated)

<b>Discharge</b>	$Q =$	<span style="background-color: #e0ffe0;">41.14</span> cfs
<b>Froude Number</b>	$Fr =$	<span style="background-color: #e0ffe0;">0.79</span>
<b>Flow Velocity</b>	$V =$	<span style="background-color: #e0ffe0;">4.62</span> fps
Flow Area	$A =$	<span style="background-color: #e0ffe0;">8.90</span> sq ft
Top Width	$T =$	<span style="background-color: #e0ffe0;">8.44</span> ft
Wetted Perimeter	$P =$	<span style="background-color: #e0ffe0;">9.44</span> ft
Hydraulic Radius	$R =$	<span style="background-color: #e0ffe0;">0.94</span> ft
Hydraulic Depth	$D =$	<span style="background-color: #e0ffe0;">1.06</span> ft
Specific Energy	$E_s =$	<span style="background-color: #e0ffe0;">2.44</span> ft
Centroid of Flow Area	$Y_o =$	<span style="background-color: #e0ffe0;">0.70</span> ft
Specific Force	$F_s =$	<span style="background-color: #e0ffe0;">0.76</span> kip

### Design of Small Drainageways in Jefferson County

1. Assume Velocity (V) times Hydraulic Radius (HR) = 4
2. Determine assumed Manning's n from Figure 701 of CRITERIA, = 0.038.
3. Given Q (100) = 41 cfs, use Manning's equation and continuity equation to solve for:
  - V = 4.62
  - HR = 0.94
  - Normal depth = 2.1
  - V \* HR = 4.34
4. Return to Figure 701, check n assumption:
  - Figure 701 shows that for the calculated V and HR result, Manning's n values should be:
    - n(V) = .04
    - n(C) = .035
5. Since assumed n value is in between n(V) and n(C), no further iterations are necessary.
6. Given n(V), use Manning's equation to calculate Velocity and Froude number.
  - V = 4.4, less than 7-fps, O.K.
  - Fr = 0.79, less than 0.8, O.K.
7. Given n(C), use Manning's equation to calculate normal depth:
  - Depth = 2.1
8. Determine channel geometry

COMBINED A1, A2, A3 Q(100) FLOWS



9. (if applicable) use section 3.3.9 and 3.3.10 of CRITERIA to determine minimum easement width



# APPENDIX-D

**METHOD #1  
EMPERICAL  
EQUATIONS FOR  
100-YR WQCV**

**Step 1:** Calculate required Water Quality Capture Volume (WQCV)

Basin	tributary catchment imperviousness /100 *	developed area (acres) *	developed area (square-ft)	WQCV (watershed inches) **	WQCV (cubic feet) ***
ID	I	A	A	V	V
A1	0.16	1.232	53644	0.08	355
A2	0.19	0.551	23988	0.09	177
B	0.23	0.818	35632	0.10	305

**WQCV**

total cubic feet: **837**

- Determined during the runoff analysis if this report, see "Proposed Composite \* Coefficients"
- \*\* Determined from Figure PLD-2, use 12-hour drain time.
- \*\*\* Calculated from multiplying WQCV (watershed inches) by tributary catchment area (square-ft), and dividing by 12; per Section 5.5, Chapter "Structural Best Management Practices", Vol. 3, MANUAL

Figure PLD-2 is taken from Section 7.0, Chapter "Structural BMPs", Vol.3 of the MANUAL

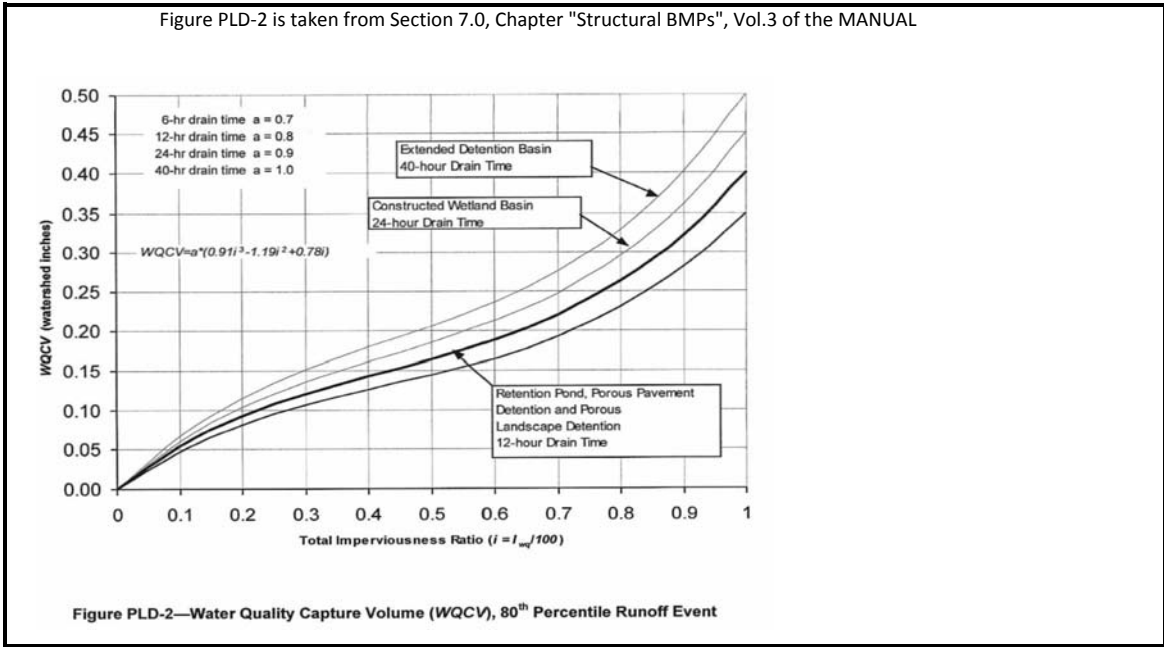


Figure PLD-2—Water Quality Capture Volume (WQCV), 80<sup>th</sup> Percentile Runoff Event



## Step 2 Determine 100-year storage volume

### METHOD #1 EMPERICAL EQUATIONS FOR 100-YR STORAGE

Basin ID	tributary catchment imperviousness /100 *	developed area (acres) *	100-yr empirical volume coefficient ***	100-yr storage volume (acre-ft)	100-yr storage volume (cubic ft)
ID	I	A	K	V	V
A1	16	1.232	0.028	0.034	1480
A2	19	0.551	0.032	0.018	779
B	23	0.818	0.041	0.033	1459

total cubic feet= **3718**

\* Determined during the runoff analysis if this report, see "Proposed Composite Coefficients"

\*\*\* Determined from equation SO-2.

100-YR volume

### Criteria

(THE FOLLOWING EMPIRICAL EQUATIONS ARE DISCUSSED IN SECTION 3.2.2, CHAPTER 10, VOLUME 2 OF THE MANUAL)

The empirical equations for NRCS Soil types B, C and D are as follows:

$$V_i = K_i A \quad (\text{SO-1})$$

for the 100-year:

$$K_{100} = \frac{(1.78I - 0.002I^2 - 3.56)}{900} \quad (\text{SO-2})$$

for the 10-year:

$$K_{10} = \frac{(0.95I - 1.90)}{1,000} \quad (\text{SO-3})$$

for the 5-year:

$$K_5 = \frac{(0.77I - 2.65)}{1,000} \quad (\text{SO-4})$$

For Soil Type A, Equations SO-1 and SO-2 tend to underestimate the needed 100-year detention volume. Instead, Equation SO-5 needs to be used to estimate the 100-year detention volume for Type A Soils (i.e.,  $V_{100,A}$ ):

$$V_{100,A} = \left( -0.00005501 \cdot I^2 + 0.030148 \cdot I - 0.12 \right) \cdot \frac{A}{12} \quad (\text{SO-5})$$

in which:

$V_i$  = required volume where subscript  $i$  = 100-, 10- or 5-year storm, as appropriate (acre-feet)

$K_i$  = empirical volume coefficient where subscript  $i$  = 100-, 10- or 5-year storm, as appropriate

$I$  = fully developed tributary catchment imperviousness (%)

$A$  = tributary catchment area (acres)

METHOD #2 FULL SPECTRUM SIZING

**EXCESS URBAN RUNOFF CONTROL (FULL-SPECTRUM) DETENTION SIZING**

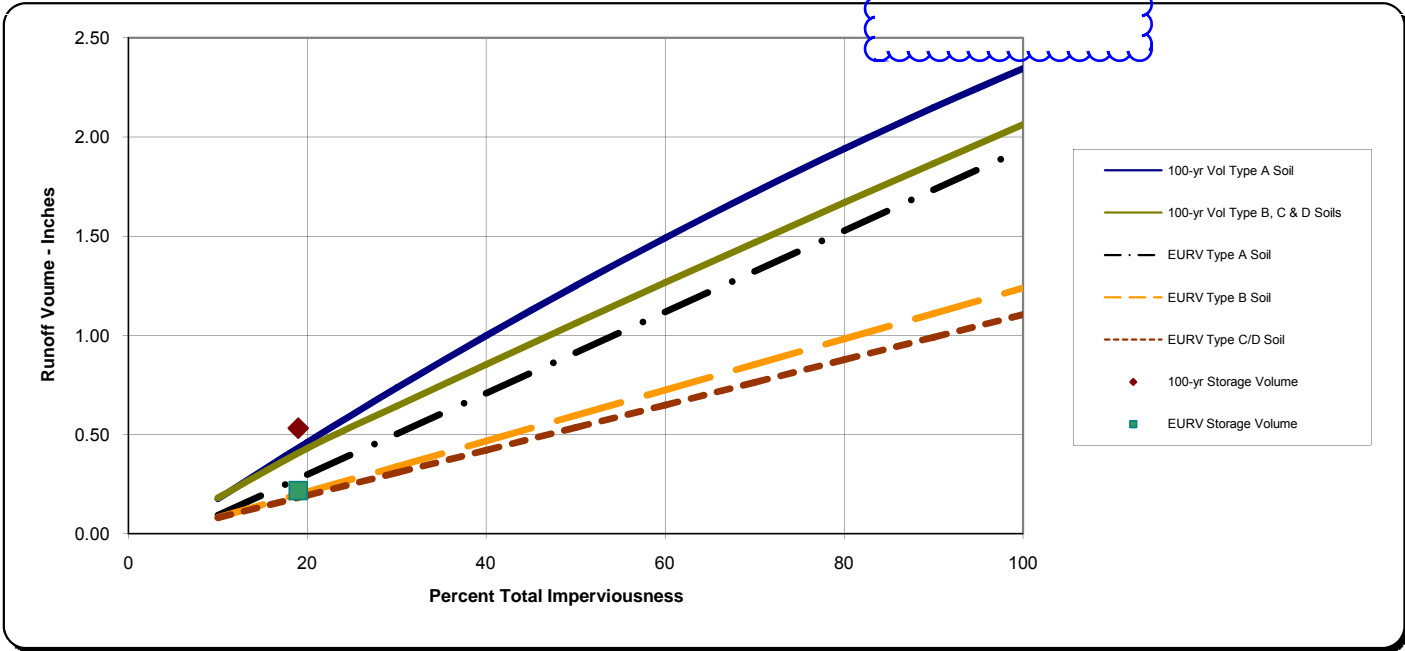
Project: 32234 Fish Pond Way  
 Basin ID: On-site Detention

\* User input data shown in blue.

Area of Watershed (acres)	2.60	
Subwatershed Imperviousness	19.0%	
Level of Minimizing Directly Connected Impervious Area (MDCIA)	0	0
Effective Imperviousness <sup>1</sup>	19.0%	
Hydrologic Soil Type	Percentage of Area	Area (acres)
Type A		0.0
Type B	100.0%	2.6
Type C or D	0.0%	0.0

5227 cubic feet

Recommended Horton's Equation Parameters for CUHP		
Infiltration (inches per hour)		Decay Coefficient-- $\alpha$
Initial-- $f_i$	Final-- $f_o$	
4.5	0.6	0.0018
Detention Volumes <sup>2,5</sup>		Maximum Allowable Release Rate, cfs <sup>3</sup>
(watershed inches)	(acre-feet)	
0.22	0.0472	
100-year Detention Volume plus WQCV <sup>5</sup>	0.53	0.12
		Design Outlet to Empty EURV in 72 Hours
		2.21



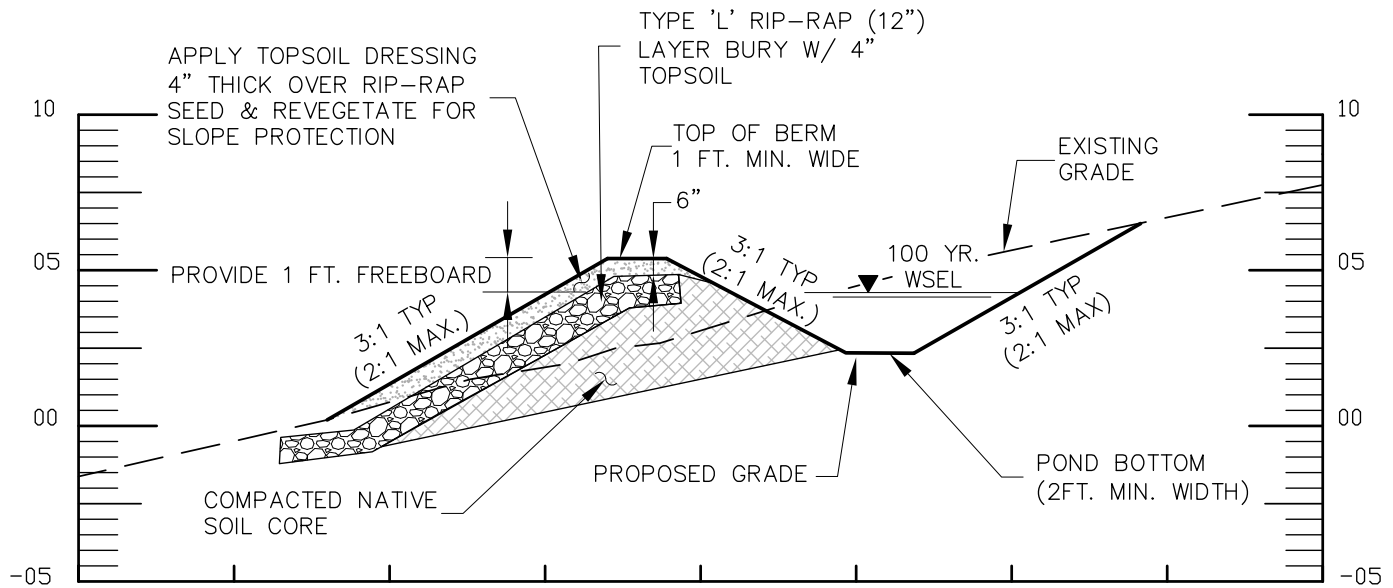
- Notes:**
- 1) Effective imperviousness is based on Figure ND-1 of the Urban Storm Drainage Criteria Manual (USDCM).
  - 2) Results shown reflect runoff reduction from Level 1 or 2 MDCIA and are plotted at the watershed's total imperviousness value; the impact of MDCIA is reflected by the results being below the curves.
  - 3) Maximum allowable release rates for 100-year event are based on Table SO-1. Outlet for the Excess Urban Runoff Volume (EURV) to be designed to empty out the EURV in 72 hours. Outlet design is similar to one for the WQCV outlet of an extended detention basin (i.e., perforated plate with a micro-pool) and extends to top of EURV water surface elevation.
  - 4) EURV approximates the difference between developed and pre-developed runoff volume.
  - 5) User has opted to add the WQCV to the 100-year detention volume to satisfy local regulations. This is not required per the USDCM.



**Figure 1408**  
**Mountain Porous Landscape Design**

**NOTES:**

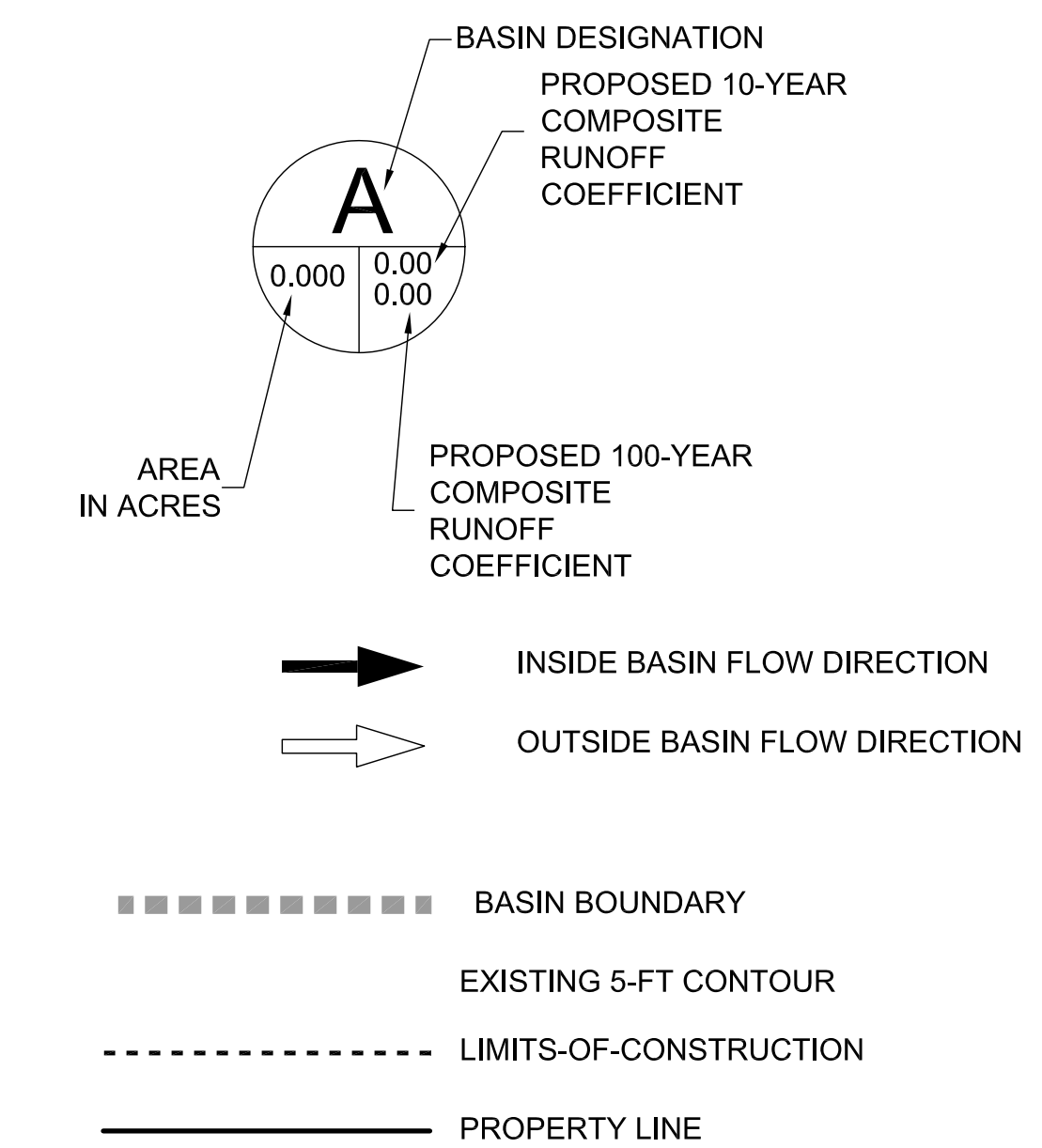
1. Volume of Mountain Porous Landscape Design pond (MPLD): 100 year plus full water quality volume.
2. NRCS Hydrologic Soil Group:
  - a.) Type A and B - No percolation test required.
  - b.) Type C - Provide percolation test data for each proposed MPLD. Perform percolation test at bottom elevation of proposed MPLD. Provide soil classification analysis.
  - c.) Type D - MPLD not allowed.
3. Provide verification that there are at least 4-feet of suitable material below the bottom of the proposed MPLD to allow for sufficient infiltration. Maximum drain time is 72 hours.
4. Maximum depth of MPLD: 5-feet including 1-foot of freeboard.
5. Maximum internal and external slopes: 2: 1 (H: V). Provide up-slopejin-flow erosion control measures. Rolled erosion control products are required for slopes exceeding 3: 1.
6. Minimum pond bottom width: 2-feet.
7. Minimum top of berm width: 1-foot.
8. Elevation of top of berm shall be with in 0.10 of a foot.
9. Overflow slope rip-rap: Type L minimum 12-inch minus. Verify with rip-rap calculations.
10. If the existing slope exceeds 30%, provide detail for key-in into native material. Based on site conditions, a slope stability analysis may be required.
11. The design engineer shall perform an open-hole inspection at time of excavation to verify soil conditions. The design engineer shall certify the volume of the MPLD with as-built drawings.
12. The MPLD shall be maintained by the property owner.



**DRAINAGE PLAN NOTES**

- THIS PLAN IS NOT A GRADING PLAN. SEE SEPARATE GRADING PLANS FOR ADDITIONAL GRADING INFORMATION AND DETAIL.
- THIS PLAN IS NOT A SURVEY; IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES. THIS PLAN DEPICTS SURFACE STORMWATER DRAINAGE AND IS NOT INTENDED FOR ANY OTHER PURPOSE WHATSOEVER. NOT ALL EXISTING SITE IMPROVEMENTS ARE SHOWN.
- THE PROPERTY BOUNDARY LINES, BOUNDARY DIMENSIONS, AND TOPOGRAPHIC INFORMATION DEPICTED IN THIS DRAINAGE PLAN WAS PROVIDED TO HIGH POINT ENGINEERING. HIGH POINT ENGINEERING HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS RECORDED/UNRECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- VERTICAL DATUM: THE TOPOGRAPHY AND ELEVATIONS SHOWN ARE BASED OFF OF THE TOPOGRAPHIC INFORMATION PROVIDED TO HIGH POINT ENGINEERING; IT IS ASSUMED THAT THE ELEVATIONS ARE NOT TIED TO ANY VERTICAL DATUM.

**LEGEND**



WATER RESOURCES  
 FLOODPLAIN  
 MANAGEMENT  
 LAND DEVELOPMENT  
 TRAFFIC  
**HIGH POINT ENGINEERING**  
 12567 West Cedar Drive, Suite 102 • Lakewood, Colorado 80228  
 ph: (720) 857-0616 • www.floodplainengineers.com

THIS DRAWING IS CONSIDERED A PROPRIETARY PRODUCT OF HIGH POINT ENGINEERING. IT IS NOT TO BE USED OR REPRODUCED IN ANY MANNER UNLESS AUTHORIZED IN WRITING BY HIGH POINT ENGINEERING.

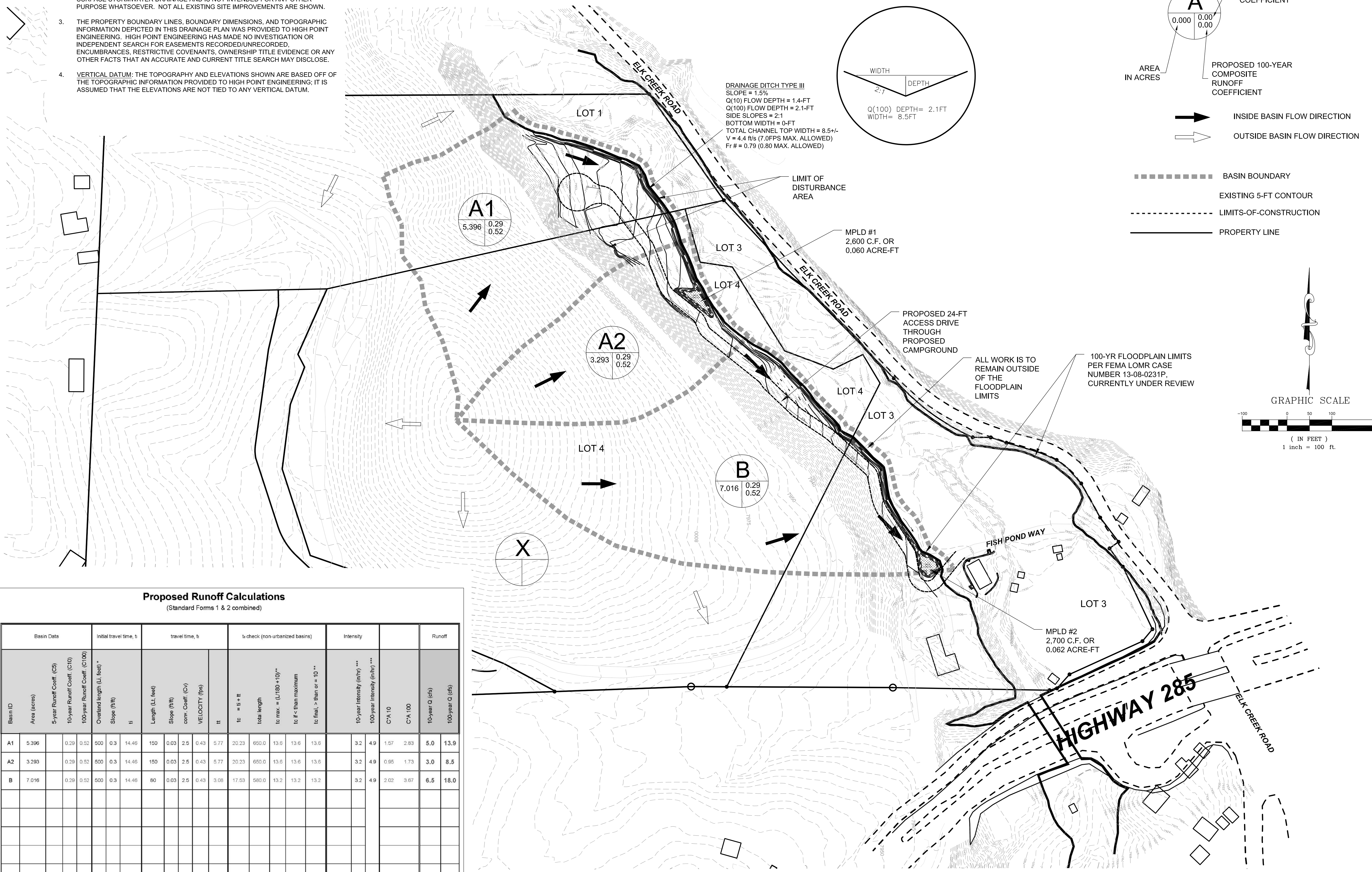
SHEET INDEX:

DESCRIPTION	SHEET	REVISION DATE
OVERALL DRAINAGE MAP	D1	04-15-13

**DRAINAGE PLAN**  
**SHAFFERS CROSSING WEST**  
 32234 FISH POND WAY  
 PINE, COLORADO 80470  
 JEFFERSON COUNTY

SCALE:	PROJ. NO.
AS SHOWN	11-0335
DRAWING STATUS:	
DRAINAGE REPORT	

SHEET: **D1**



**Proposed Runoff Calculations**  
(Standard Forms 1 & 2 combined)

Basin ID	Basin Data				Initial travel time, t <sub>i</sub>		travel time, t <sub>t</sub>		% check (non-urbanized basins)				Intensity		Runoff							
	Area (acres)	5-year Runoff Coeff. (C5)	10-year Runoff Coeff. (C10)	100-year Runoff Coeff. (C100)	Overland length (L <sub>i</sub> feet) *	Slope (ft/ft)	Length (L <sub>t</sub> feet)	Slope (ft/ft)	conv. Coeff. (C <sub>v</sub> )	VELOCITY (fps)	t <sub>i</sub>	t <sub>t</sub>	total length	t <sub>c</sub> max. = (L/150 + 10)**	t <sub>c</sub> if < than maximum	t <sub>c</sub> final, > than or = 10 ***	10-year Intensity (in/hr) ***	100-year Intensity (in/hr) ***	C <sub>v</sub> A 10	C <sub>v</sub> A 100	10-year Q (cfs)	100-year Q (cfs)
A1	5.396	0.29	0.52	0.52	500	0.3	14.46	150	0.03	2.5	0.43	5.77	20.23	650.0	13.6	13.6	3.2	4.9	1.57	2.83	5.0	13.9
A2	3.293	0.29	0.52	0.52	500	0.3	14.46	150	0.03	2.5	0.43	5.77	20.23	650.0	13.6	13.6	3.2	4.9	0.85	1.73	3.0	8.5
B	7.016	0.29	0.52	0.52	500	0.3	14.46	80	0.03	2.5	0.43	3.08	17.53	580.0	13.2	13.2	3.2	4.9	2.02	3.67	6.5	18.0

\* Length should not exceed 500-feet for non-urban uses, 300-feet for urban uses  
 \*\* t<sub>c</sub> should not exceed (L/150 + 10), and should be more than 10 minutes for non-urbanized areas, and more than 5 minutes for urbanized areas  
 \*\*\* Use Figures 502 A-D, Rainfall Time-Intensity Frequency Curve, Jefferson County, Colorado

**OVERALL DRAINAGE MAP**

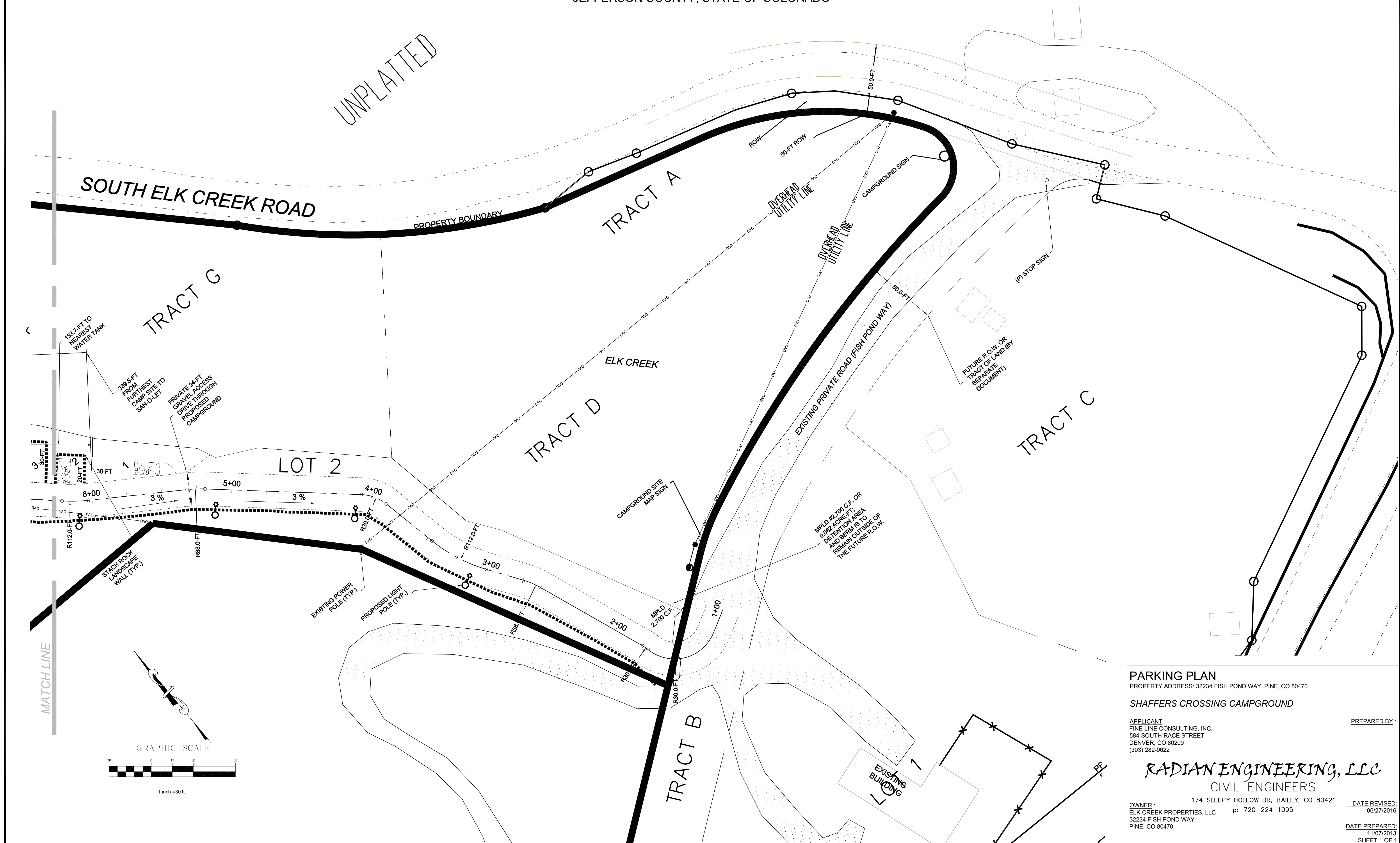


# SHAFFER'S CROSSING CAMPGROUND

## PARKING PLAN

Case Number 13-106374SD  
Map Number 255 & 266

A PARCEL OF LAND LOCATED IN SECTION 32, TOWNSHIP 6 SOUTH, RANGE 71 WEST OF THE 6TH P.M.,  
JEFFERSON COUNTY, STATE OF COLORADO



**PARKING PLAN**  
PROPERTY ADDRESS: 32234 FISH POND WAY, PINE, CO 80470

**SHAFFERS CROSSING CAMPGROUND**

APPLICANT:  
FINE LINE CONSULTING, INC.  
584 SOUTH RACE STREET  
DENVER, CO 80209  
(303) 282-9622

PREPARED BY:

**RADIAN ENGINEERING, LLC**  
CIVIL ENGINEERS

174 SLEEPY HOLLOW DR, BAILEY, CO 80421  
ELK CREEK PROPERTIES, LLC p: 720-224-1095

OWNER:  
ELK CREEK PROPERTIES, LLC  
32234 FISH POND WAY  
PINE, CO 80470

DATE REVISED:  
06/27/2016

DATE PREPARED:  
11/07/2013  
SHEET 1 OF 1

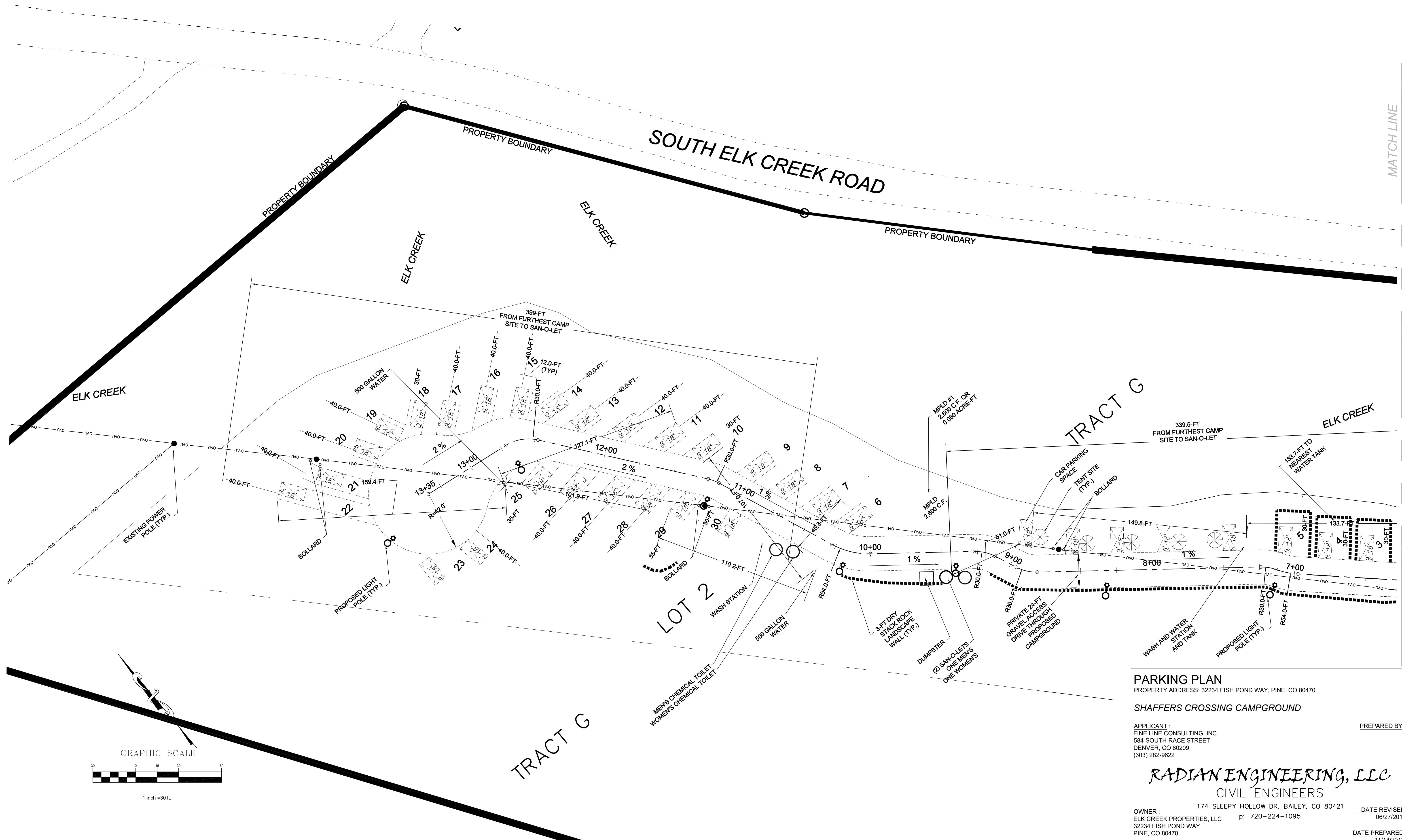
# SHAFFER'S CROSSING CAMPGROUND

## PARKING PLAN

A PARCEL OF LAND LOCATED IN SECTION 32, TOWNSHIP 6 SOUTH, RANGE 71 WEST OF THE 6TH P.M.,  
JEFFERSON COUNTY, STATE OF COLORADO

Case Number 13-106374SD

Map Number 255 & 266



**PARKING PLAN**  
 PROPERTY ADDRESS: 32234 FISH POND WAY, PINE, CO 80470

**SHAFFERS CROSSING CAMPGROUND**

APPLICANT:  
 FINE LINE CONSULTING, INC.  
 584 SOUTH RACE STREET  
 DENVER, CO 80209  
 (303) 282-9622

PREPARED BY:  
**RADIAN ENGINEERING, LLC**  
 CIVIL ENGINEERS

OWNER:  
 ELK CREEK PROPERTIES, LLC  
 32234 FISH POND WAY  
 PINE, CO 80470

174 SLEEPY HOLLOW DR, BAILEY, CO 80421  
 p: 720-224-1095

DATE REVISED:  
 06/27/2016

DATE PREPARED:  
 11/14/2013

SHEET 2 OF 2



# SHAFFER'S CROSSING CAMPGROUND

## SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN SECTION 32, TOWNSHIP 6 SOUTH, RANGE 71 WEST OF THE 6TH P.M.,  
JEFFERSON COUNTY, STATE OF COLORADO

### Landscape Plan

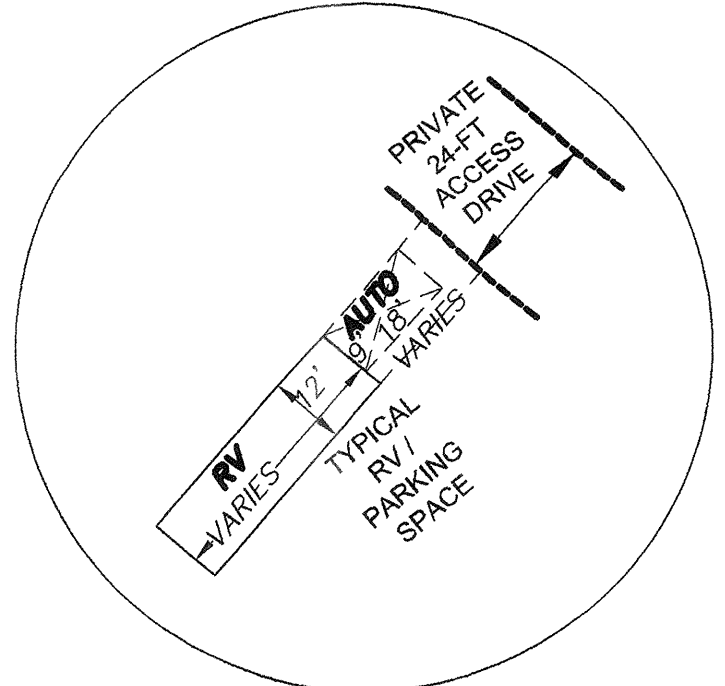
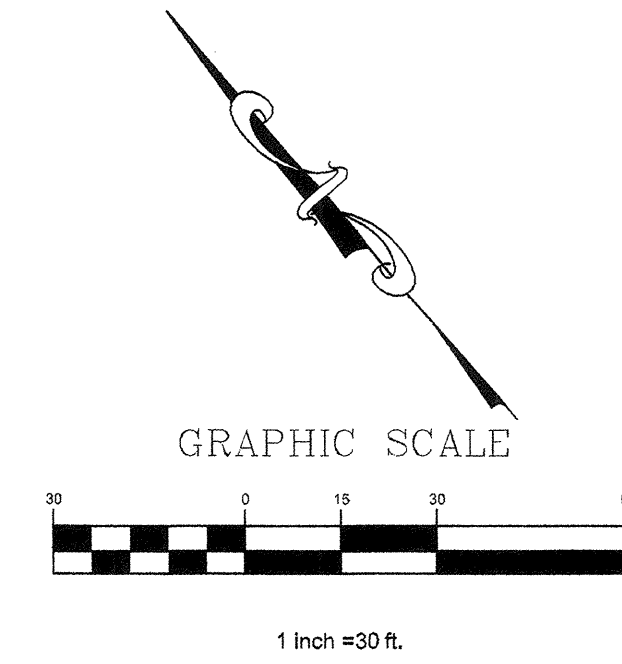
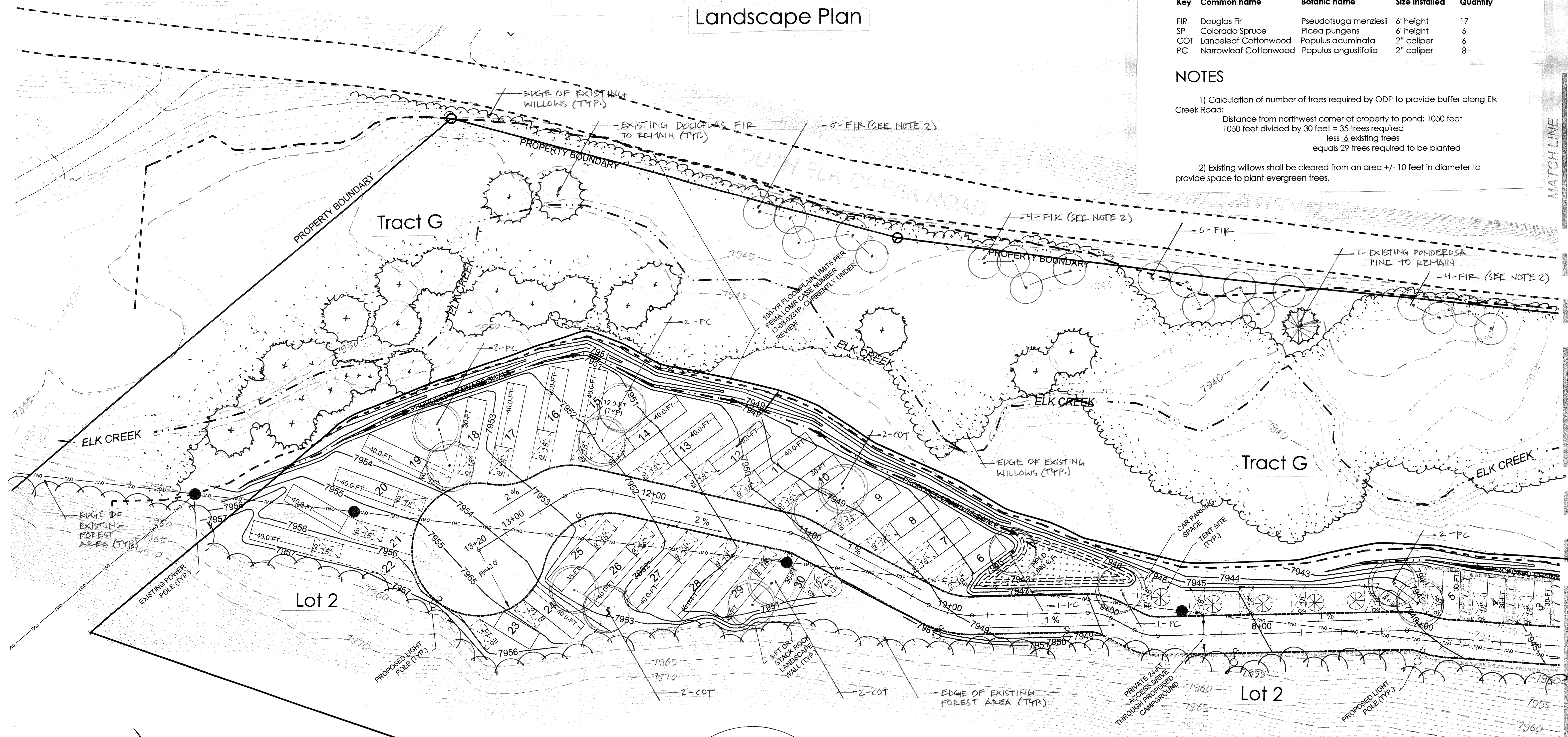
Case Number: 13-106374SD  
Map Number: 255 & 266

#### Plant List

Key	Common name	Botanic name	Size installed	Quantity
FIR	Douglas Fir	Pseudotsuga menziesii	6' height	17
SP	Colorado Spruce	Picea pungens	6' height	6
COT	Lanceleaf Cottonwood	Populus acuminata	2" caliper	6
PC	Narrowleaf Cottonwood	Populus angustifolia	2" caliper	8

#### NOTES

- 1) Calculation of number of trees required by ODP to provide buffer along Elk Creek Road:  
Distance from northwest corner of property to pond: 1050 feet  
1050 feet divided by 30 feet = 35 trees required  
less 6 existing trees  
equals 29 trees required to be planted
- 2) Existing willows shall be cleared from an area +/- 10 feet in diameter to provide space to plant evergreen trees.



prepared by:  
**Fine Line Consulting, Inc.**  
584 South Race Street  
Denver, CO 80209  
303-282-9622

date prepared: April 8, 2013  
Revised: June 27, 2016

**Landscape Plan**  
PROPERTY ADDRESS: 32234 FISH POND WAY, PINE, CO 80470  
**SHAFFER'S CROSSING CAMPGROUND**

APPLICANT:  
FINE LINE CONSULTING, INC.  
584 SOUTH RACE STREET  
DENVER, CO 80209  
(303) 282-9622





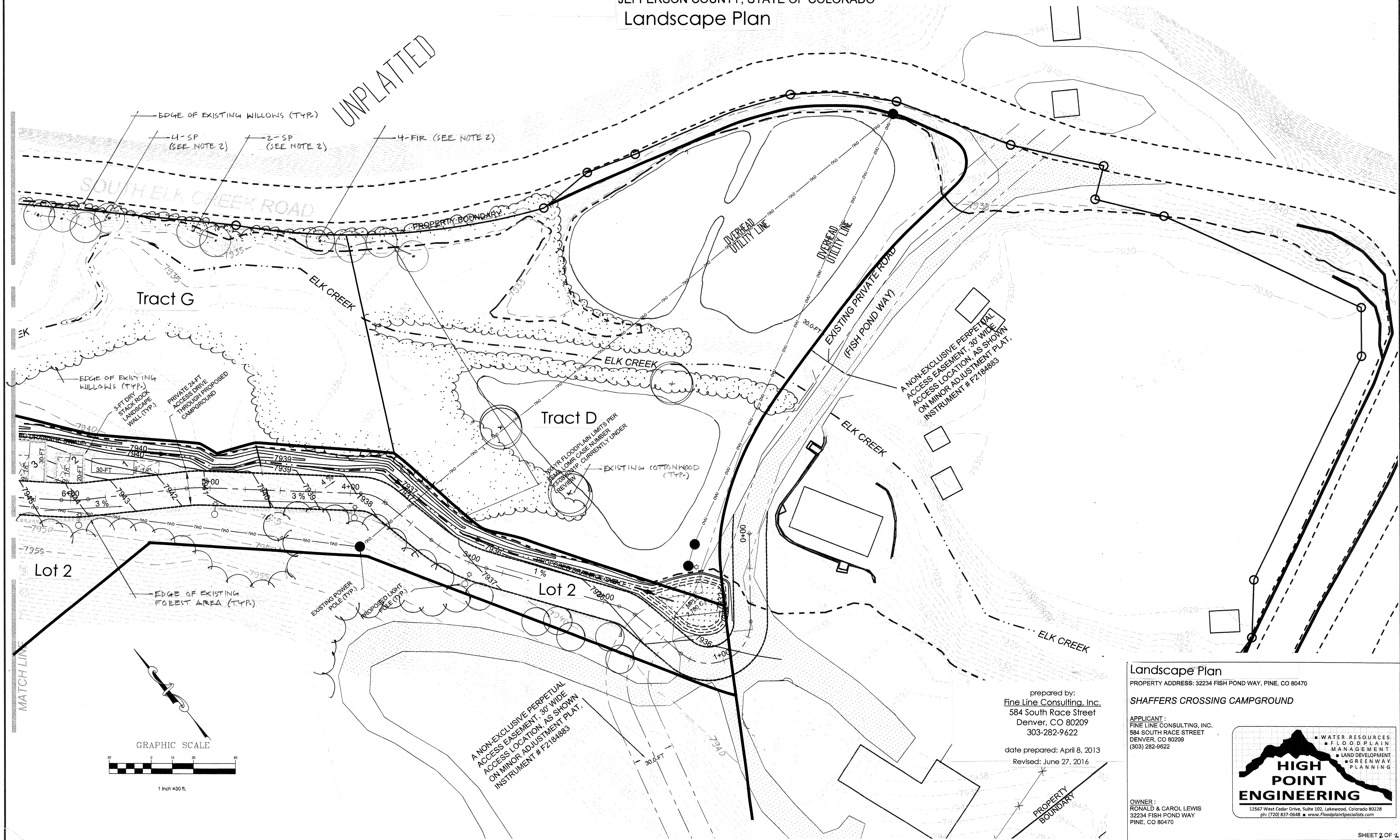
# SHAFFER'S CROSSING CAMPGROUND

Case Number: 13-106374SD  
Map Number: 255 & 266

## SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN SECTION 32, TOWNSHIP 6 SOUTH, RANGE 71 WEST OF THE 6TH P.M.,  
JEFFERSON COUNTY, STATE OF COLORADO

## Landscape Plan



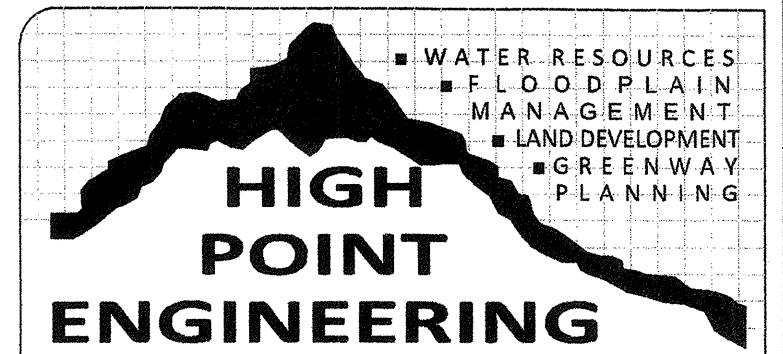
prepared by:  
**Fine Line Consulting, Inc.**  
584 South Race Street  
Denver, CO 80209  
303-282-9622

date prepared: April 8, 2013  
Revised: June 27, 2016

**Landscape Plan**  
PROPERTY ADDRESS: 32234 FISH POND WAY, PINE, CO 80470

**SHAFFERS CROSSING CAMPGROUND**

APPLICANT:  
**FINE LINE CONSULTING, INC.**  
584 SOUTH RACE STREET  
DENVER, CO 80209  
(303) 282-9622



OWNER:  
**RONALD & CAROL LEWIS**  
32234 FISH POND WAY  
PINE, CO 80470

12567 West Cedar Drive, Suite 102, Lakewood, Colorado 80228  
ph: (720) 837-0648 ■ www.FloodplainSpecialists.com



**Exhibit "A"**  
**PUBLIC IMPROVEMENT COSTS**

Shaffers Crossing Campground

Case No. \_13-106374 SD Early Grading

11/15/2013

IMPROVEMENTS LIST PRICING					
Work Category	Improvement Item	Unit	Plan Quantity	Unit Cost	Total Cost
Construction	Vehicle Tracking Pad	EACH	1	\$ 800.00	\$ 800.00
	Port-o-pottie	EACH	1	\$ 300.00	\$ 300.00
	<b>Total</b>				
<b>Sediment Control</b>					
	Sediment Control Logs	LIN FT	650	\$ 4.00	\$ 2,600.00
<b>Total</b>					<b>\$ 2,600.00</b>
<b>Erosion Control</b>					
	Hydroseed (quantified in "Final Stabilization")	SQ FT	0	\$ 0.18	\$ -
<b>Total</b>					<b>\$ -</b>
<b>Grading</b>					
	Grading (Cut)	CU YD	353	\$ 2.50	\$ 882.50
	Grading (Import)	CU YD	0	\$ 12.00	\$ -
	Compacting (Fill)	CU YD	353	\$ 1.50	\$ 529.50
<b>Total</b>					<b>\$ 1,412.00</b>
<b>Final Stabilization</b>					
	Permanent Seeding	ACRE	1.900	\$ 3,500.00	\$ 6,650.00
	Topsoil (In excess of site availability)	CU YD	10	\$ 12.00	\$ 120.00
	Flexterra FGM Hydroseed	SQ FT	12000	\$ 0.18	\$ 2,160.00
	Mulch (included in the Hydroseed value)	SQ FT	0	\$ 0.18	\$ -
	Rock Walls	SQ FT	2430	\$ 8.00	\$ 19,440.00
<b>Total</b>					<b>\$ 28,370.00</b>
<b>PRIVATE CIRCULATION ITEMS</b>					
<b>Storm Drainage</b>					
	MPLD	EACH	2	\$ 4,500.00	\$ 9,000.00
					<b>\$ 9,000.00</b>
<b>PRIVATE CIRCULATION ITEMS</b>					
<b>Streets/Roads</b>					
	Aggregate Base Course	CU YD	220	\$ 80.00	\$ 17,600.00
	Signs (stop)	EACH	1	\$ 200.00	\$ 200.00
					<b>\$ 17,800.00</b>
<b>OTHER SITEWORK</b>					
<b>Water and Sewer System</b>					
	San-o-let	EACH	2	300.00	\$ 600.00
	Water Tank (500 gallons)	EACH	3	500.00	\$ 1,500.00
					<b>\$ 2,100.00</b>
Subtotal					<b>\$ 62,382.00</b>
10%					<b>\$ 6,238.20</b>
<b>TOTAL</b>					<b>\$ 68,620.20</b>

THIS QUANTITY ESTIMATE WAS PREPARED UNDER MY DIRECT SUPERVISION:

\_\_\_\_\_  
John Tompkins, PE, CFM Date

\_\_\_\_\_  
Owner/Applicant (Print Name) Date

\_\_\_\_\_  
Approved- Jefferson County Date

# EXHIBIT "A" for Landscaping Improvements

32234 Fish Pond Way

Shaffers Crossing Campground SDP

Case No. 13-106374SD

(Date prepared: April 8, 2013)

Description of Materials	Size	Quantity	Cost per item	Total cost
PLANT MATERIAL:				
Douglas Fir	6' height	17	\$400.00	\$ 6,800.00
Colorado Spruce	6' height	6	400.00	2,400.00
Lanceleaf Cottonwood	2" caliper	6	<del>365.00</del>	<del>2,190.00</del>
Narrowleaf Cottonwood	2" caliper	8	<del>365.00</del>	<del>2,920.00</del>
SUBTOTAL			<b>\$340.00</b>	\$14,310.00
10% CONTINGENCY				1,431.00
<hr/>				
TOTAL				\$15,741.00

Prepared by: \_\_\_\_\_ Date: \_\_\_\_\_  
Doug Reed, Fine Line Consulting, Inc.

Developer: Elk Creek Properties, LLC Date: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_ as Manager of Elk Creek Properties, LLC

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_, Jefferson County Planning and Zoning  
Division



# EXHIBIT "A" for Landscaping Improvements

32234 Fish Pond Way

Shaffers Crossing Campground SDP

Case No. 13-106374SD

(Date prepared: April 8, 2013)

Description of Materials	Size	Quantity	Cost per item	Total cost
PLANT MATERIAL:				
Douglas Fir	6' height	17	\$400.00	\$ 6,800.00
Colorado Spruce	6' height	6	400.00	2,400.00
Lanceleaf Cottonwood	2" caliper	6	<del>365.00</del>	<del>2,190.00</del>
Narrowleaf Cottonwood	2" caliper	8	<del>365.00</del>	<del>2,920.00</del>
SUBTOTAL			<b>\$340.00</b>	\$14,310.00
10% CONTINGENCY				1,431.00
<hr/>				
TOTAL				\$15,741.00

Prepared by: \_\_\_\_\_ Date: \_\_\_\_\_  
Doug Reed, Fine Line Consulting, Inc.

Developer: Elk Creek Properties, LLC Date: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_ as Manager of Elk Creek Properties, LLC

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

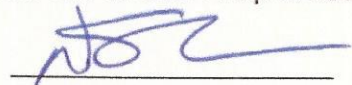
\_\_\_\_\_, Jefferson County Planning and Zoning  
Division

# EXHIBIT "A" for Landscaping Improvements

32234 Fish Pond Way  
Shaffers Crossing Campground SDP  
Case No. 13-106374SD  
(Date prepared: July 1, 2016)

Description of Materials	Size	Quantity	Cost per item	Total cost
PLANT MATERIAL:				
Douglas Fir	6' height	17	\$400.00	\$ 6,800.00
Colorado Spruce	6' height	6	400.00	2,400.00
Lanceleaf Cottonwood	2" caliper	6	340.00	2,040.00
Narrowleaf Cottonwood	2" caliper	8	340.00	2,720.00
SUBTOTAL				\$13,960.00
10% CONTINGENCY				1,396.00
TOTAL				\$15,356.00

Prepared by:  Date: 7/1/2016  
Doug Reed, Fine Line Consulting, Inc.

Developer: Elk Creek Properties, LLC Date: 7/1/16  
  
Thomas S. LEWIS as Manager of Elk Creek Properties, LLC

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
\_\_\_\_\_, Jefferson County Planning and Zoning  
Division





PLANNING

LANDSCAPE ARCHITECTURE

April 8, 2013

Ms. Jeanne Shaffer  
Jefferson County Planning and Zoning Division  
100 Jefferson County Parkway, Suite 3550  
Golden, CO 80419-3550

Re: Shaffers Crossing Campground Site Development Plan  
**Lighting**

Dear Jeanne,

This Site Development Plan (SDP) application to construct and operate a campground represents the initial phase of a campground operation. If this phase is successful, then a subsequent SDP may be submitted to expand the campground to its full potential as allowed by the ODP.

The only lighting that is proposed at this time is pole mounted area lighting that will be installed along the southwesterly side of the private road accessing the campground, as shown on the Site Plan. The Site Plan shows the maximum number of potential lights, but all of these lights may not be installed initially. The ODP restricts the pole lights to a maximum height of 12 feet, and requires the light fixtures to be shielded with full cut-offs, and directed downward. The attached specification sheet shows the photometric profile of the light pattern. This detail shows that the light produced drops to less than 0.1 foot-candles at between 40 and 45 feet from the fixture at a 10 foot height (figures are not provided for 12 feet high). Since all of the lights are proposed to be located more than 200 feet away from the property line at South Elk Creek Road, it will be impossible for the light level at the road to exceed the County's most restrictive requirement of 0.1 foot-candle at the right-of-way line.

If anyone reviewing this application has any questions or would like additional information, they may contact me at 303-282-9622. Thank you for your consideration of this application.

Sincerely,

Doug Reed, Fine Line Consulting, INC.

584 South Race Street  
Denver, Colorado 80209  
Ph: (303) 282-9622  
Fax: (303) 744-9977



PLANNING  
LANDSCAPE ARCHITECTURE

October 3, 2014

Mr. Aaron McLean  
Jefferson County Planning and Zoning Division  
100 Jefferson County Parkway, Suite 3550  
Golden, CO 80419-3550

Re: Shaffers Crossing, SDP and Minor Adjustment

Dear Aaron,

As you know, both of these applications are ready to be approved, pending submittal of the final documents. It is our understanding that both cases must be concluded concurrently. We are still in the process of getting final approval of the documents and related items from the lenders and, in some instances, from the bankruptcy court. Since the court approvals in particular tend to be very slow, we are asking for extensions for these cases so that we can have time to finish them. Thank you for your assistance in this effort.

Sincerely,



Doug Reed  
Fine Line Consulting, Inc.

FINE LINE CONSULTING, INC.

584 South Race Street  
Denver, Colorado 80209  
Ph: (303) 282-9622  
Fax: (303) 744-9977





PLANNING AND ZONING DIVISION

---

MEMO

---

**DATE:** NOVEMBER 10, 2014  
**TO:** JOHN WOLFORTH, DIRECTOR OF PLANNING & ZONING  
**FROM:** AARON MCLEAN, PLANNER  
**RE:** SHAFFER'S CROSSING SITE DEVELOPMENT PLAN (SDP)  
CASE #13-106374SD - RESUBMITTAL EXTENSION

---

Per section 1.M.3.p of the Jefferson County Zoning Resolution, the applicant shall have 120 days to resubmit documents addressing staff's comments prior to final document submittal. The applicant has been actively addressing the issues related to the development proposal and would like to request an extension of the document resubmittal deadline and to bring the case active with the development review process. According, the request is to establish a **new submittal deadline of May 5, 2015.**

Staff is supportive of the request as the issues are being addressed.

APPROVED:

---

John Wolforth, Director of Planning & Zoning

DENIED:

---

John Wolforth, Director of Planning & Zoning



PLANNING  
LANDSCAPE ARCHITECTURE

July 30, 2015

Mr. Alan Tiefenbach  
Jefferson County Planning and Zoning Division  
100 Jefferson County Parkway, Suite 3550  
Golden, CO 80419-3550

Re: Shaffers Crossing SDP

Dear Alan,

With this letter we are requesting that the SDP for the Shaffers Crossing project remain active for another 180 days. Now that the bankruptcy of one owner has been finalized, the current owners and creditors will now be able to move forward to complete the SDP. Please confirm that this extension can be accommodated. Thank you for your assistance.

Sincerely,

Doug Reed  
Fine Line Consulting, Inc.

FINE LINE CONSULTING, INC.

584 South Race Street  
Denver, Colorado 80209  
Ph: (303) 282-9622  
Fax: (303) 744-9977



# REQUEST FOR 120-DAY EXTENSIONS

**TO:** John Wolforth  
Director Planning and Zoning

**FROM:** Alan Tiefenbach  
Planner – Development Review

**DATE:** August 11, 2015

**SUBJECT:** Request for three (3) 120-Day Extensions  
SDP Title: Shaffer's Crossing SDP  
Case Number: 13-106374SD

## Request/Background:

Please consider the attached request for three (3) 120-Day Extensions for re-submittal of the Shaffer's Campground Site Development Plan. Per section 1 of the Jefferson County Zoning Resolution, the applicant shall have a maximum of 120 calendar days to respond to the referral comments or the application will be considered withdrawn. Staff comments were provided on the 2<sup>nd</sup> referral on September 9, 2014. The applicant has stated bankruptcy has affected the resubmittal process and the applicant proposes to resubmit soon.

## Recommendation:

According to Section 1 of the Jefferson County Zoning Resolution, the Director of Planning and Zoning has the ability to grant an additional 120-calendar-day extension from the original due date of September 9, 2014 if, in his/her opinion, the delay is for good cause. The Planning Staff recommends approval of the applicant's request.

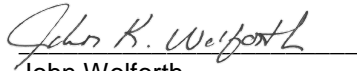
## Decision:

Pursuant to 1.M.3.p of the Jefferson County Zoning Resolution, the Director of Planning and Zoning has allowed the following:

- Three (3) 120-Day extensions for re-submittal of Shaffer's Crossing Site Development Plan, Case 13-106374SD. The extension will make the case current through September 9, 2015.

Director of Planning and Zoning:

Extensions Approved  
 Extensions Approved with Changes  
 Extensions Denied

  
John Wolforth  
Director Planning and Zoning

8/26/15  
Date

**REVIEWED**  
By mschuste at 8:49 am, Aug 26, 2015



Board of County Commissioners

Planning and Zoning Division  
100 Jefferson County Parkway, Suite 3550  
Golden, Colorado 80419-3550  
303-271-8700 | FAX 303-271-8744

**Libby Szabo**  
District No. 1  
**Casey Tighe**  
District No. 2  
**Donald Rosier**  
District No. 3

April 21, 2016

Mr. Ron Lewis  
Colorado Mountain Properties, Inc.  
26624 N. Turkey Creek Road  
Evergreen, CO 80439

Re: Reduction of cash escrow (13-106374SD Shaffers Crossing Campground)  
(Public/Grading Improvements)

Pursuant to the instructions I have received, I am enclosing herewith Jefferson County Treasurer's Check No. 84049 in the amount of \$ 24,171.86, which includes \$ 24.66 in interest accrued from the date of deposit. The public/grading improvements have been inspected and released.

This will leave \$ 44,473.00 in Account No. 20-0000-220.44-40, Control No. 004268.

Cordially,

Carol D. Smith

Public Improvements Coordinator

cc: County Attorney's Office  
Gene Bennetts, Transportation & Engineering Division  
file (2)

County Control No. 004268